

ADIRONDACK PARK AGENCY

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In the Matter of

Agency File: E2007-041

LEWIS FAMILY FARM, INC.,

Respondent.

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**AFFIDAVIT OF BARBARA A. LEWIS**

STATE OF NEW YORK    )  
                                  ) ss.:  
COUNTY OF ESSEX     )

**BARBARA A. LEWIS**, being sworn, deposes and says:

1. I am an officer of Lewis Family Farm, Inc., the Respondent in this matter. I make this affidavit in support of the Lewis Family Farm's Motion to Dismiss and in opposition to Agency Staff's request for a summary finding of liability and imposition of a fine without a hearing.

2. In 1978, my husband, Salim B. Lewis, and I purchased a farmstead in the County of Essex following a long family association with the Adirondacks which dates back to 1951. Over the years we acquired adjacent lands thus forming what is now a farm of approximately 1200 acres, 826 of which are currently under cultivation and used for pasture and the remainder comprising a maple sugarbush, recovering logged areas, and protective winter habitat for cattle.

3. Our farmstead, now known as The Lewis Family Farm, is one of New York State's largest USDA Certified organic farms. Our farm is located within Essex County Agricultural District No. 4, a County adopted, state certified agricultural district.

4. The Lewis Family Farm has become a showcase for the Cornell Cooperative Extension and has, through example, contributed to four neighboring farms that have also become organic operations. The Lewis Family Farm has a strong reputation that has allowed for students and apprentices from the United States and from international programs to work and study on the Lewis Family Farm for academic credit.

5. As a working farm, the Lewis Family Farm has made significant capital improvements to its land, infrastructure and operations in an effort to remain economically viable, energy efficient and environmentally sound.

6. As the farm grew in size we were compelled to demolish at least 15 houses on our farmlands, residences broken and beyond repair, residences with unhealthful sewage conditions, residences with vulnerable or unreliable water supplies, and residences so mold infested as to be considered unsafe and substandard housing.

7. In addition to the demolition of these houses and the removal of innumerable unheated hired hand accommodations that had been on the Lewis Family Farm, we have constructed or substantially upgraded fifteen (15) farm buildings and several other farm structures in support of the farm. This includes nine (9) structures at the barn plaza, four (4) by the farmstead, the Grandview Barn, the cattle shed, and two (2) substantial bridges designed and built to protect wetlands. The Lewis Family Farm did not obtain permits from the Adirondack Park Agency for any these farm structures. At no time since these many farm buildings were constructed has the Lewis Family Farm been informed that an APA permit was necessary at the time of construction, other than the Notice of Violation we received for the farm employee houses at issue in this matter.

8. As we have gained knowledge in our organic farming practices, we feel obliged to provide academic opportunities to agricultural students. The current manager of

our farm and our primary employee is Marco Turco, a PhD and agricultural scholar, who is an adjunct faculty member at the nearby State University of New York at Plattsburgh. Dr. Turco has developed a program at this and other universities that allows academic credit for internships under his tutelage.

9. In addition, the Lewis Family Farm has been approached by the government of Nepal to host four farmers from Nepal so that they may learn the methods of sustainable, organic farming. These farmers had been scheduled to arrive in the fall of 2007 and now plan to arrive in late spring 2008. In addition to Dr. Turco's management of the Lewis Family Farm, the Lewis Family Farm has three full time employees. These include Mr. Scott Pulsifer, Mr. Timothy Benway and Mr. Gregg Facette. None of these employees are able to live on our farm, because we do not currently have on-farm housing for them. This is particularly inconvenient and expensive with respect to Mr. Gregg Facette, who commutes from north of Plattsburgh.

10. In addition, during the growing season and summer of 2007, the Lewis Family Farm had four student interns and one apprentice working with us, from Washington State, Georgia, Long Island, Plattsburgh and France, respectively. Contrary to our plans, and because of this enforcement proceeding, we had to house these interns in off-farm housing, some distance away and at considerable cost to the farm.

11. In late 2006, the Lewis Family Farm took the step of investing in on-farm employee housing, in the knowledge that safe, modern, comfortable and energy efficient on-farm employee housing is a fundamentally sound agricultural practice. It is crucial to our operations and in accordance with our philosophy. The people who care for the land have to be cared for as well. In our view, on-farm employee housing is essential for a self-sustaining farm in the Adirondack Park.

12. Our employee housing project involves four structures: the manager's house at Clark and Cross Roads, which was finished in late 2007 and is now occupied by Dr. Turco and his family; and, a three building cluster near the primary farm barns on Christian Road. The three-building cluster includes Residence I, the South Family Cottage and the North Family Cottage. Residence I has 4 bedrooms and is designed for employees, interns, apprentices and farm consultants; the North Family Cottage and the South Family Cottage each have 3 bedrooms. The Cottages are designed for nuclear farm families, the bedrock of sustainable farming.

13. The three-house cluster for employees adjacent to the barns is several hundred feet from the Boquet River. Several residences, a railroad track high ground and roads exist between the employee houses and the river.

14. No subdivision of land or sites was anticipated or involved in the design and construction of the four employee housing units. All are on the Lewis Family Farm and they are not the subject of separate parcels or the division of our farm lands. Indeed, the three-building housing complex on Christian Road is designed as a farmer community. The three houses are closely adjacent to one another and oriented in a horseshoe pattern around a common play area and courtyard. They share a well and are serviced by a common driveway and a common septic system and leach field, which is under the area of the planned common courtyard. The units are designed to form a courtyard, so that children of the farm families may play safely and common activities may take place. The placement of the units is specifically designed to facilitate easy and energy efficient access to and surveillance of the adjacent barns. Given the common driveway, common septic system, common water supply, and common courtyard layout of the housing cluster near the barns, the houses are clearly not designed for any use other than for farm employees. I have repeatedly informed Agency

Staff orally and in writing that the housing cluster is for farm employees. I attach this description as **Exhibit "A"**. This housing has been under consideration by me for many years and has always been considered as part of the overall scheme for consolidating farm operations near the barn plaza, which has nine (9) farm buildings we have built. As built, the housing complex is clearly not a subdivision, nor is it divisible.

15. I obtained permits from the Town of Essex for the four farm employee houses, including the three house cluster near the barns that is the subject of this proceeding. The application and site plans are attached as **Exhibit "B"**. The Town granted a foundation permit on November 14, 2006, attached as **Exhibit "C"**. The Town ultimately granted four farm building permits to the Lewis Family Farm as A-698 (Marco Home); A-699 (Residence I); A-700 (North Family Cottage); and A-701 (South Family Cottage). Copies of the final building permits are attached as **Exhibit "D"**. The approved common septic system for the housing project, designed by Mark Buckley, P.E., is attached as **Exhibit "E"**. The approval of the septic system is attached as **Exhibit "F"**.

16. The four farm employee houses are modular and as such are very susceptible to the elements until they are fully constructed with roofs erected and covered. Significant damage can occur if they are not immediately protected from the weather by being assembled and weatherproofed.

17. The Lewis Family Farm abides by high legal, ethical and environmental standards. We set out to comply with the law in building the farm employee housing. Upon being informed of Agency Staff's position that is at issue in this proceeding with respect to the three-house building cluster near the barns, I was shocked and upset as representatives of the Town of Essex had informed us during the building permit application process that no APA permits, or additional permits of any kind, were required. In addition, I had never

obtained any APA permits for any of the other farm buildings and structures that we have built over the years, without objection.

18. Staff suggests that the Lewis Family Farm should have known of the Staff's view that it has the power to regulate farm housing based upon a purported statement to my husband, Salim B. Lewis, during a group meeting over two years ago. My husband may not have heard it, as he is hard of hearing and deaf in one ear. In any event, my husband did not relay the purported statement to me, I was not present on this occasion and I believe his attached affidavit to be true. **Exhibit "G"**.

19. I had no idea that the APA Staff had formed an opinion that two of the four farm employee houses that we began to build in late 2006 needed an APA permit until mid-March, 2007, when I called Staff after hearing rumors of complaints.

20. I voluntarily put a hold on the three-home cluster after speaking with Staff. I consulted counsel at Nixon Peabody who informed me of their legal opinion that Staff was wrong as a matter of agricultural law.

21. Without counsel, I attempted to resolve the matter with Staff, who insisted that they had jurisdiction over farm development and they maintained that payment of a substantial fine of \$10,000 was mandatory. Indeed, Staff suggested this fine was small by their usual standards.

22. In mid-May 2007, I received a proposed "settlement agreement" from Agency Staff that demanded I waive the right to challenge APA jurisdiction to regulate farming, and pay a \$10,000 fine by June 15, 2007. This "settlement agreement," attached as Exhibit "A" to Mr. Paul VanCott's affidavit, also demanded that I agree to Agency review of all future farm buildings. Upon reading this, I finally informed my husband for the first time of the housing dispute with the APA Staff. He expressed deep concern about the matter.

23. On June 1, 2007 I traveled to APA headquarters with counsel from Nixon Peabody in Rochester for a prearranged meeting with Mr. Paul VanCott but he did not show up. Rather, other Staff met with us and informed us that they could not resolve the case if we did not withdraw our considered view that the farm buildings were not subject to APA review and we paid the \$10,000 fine. I came away from this meeting with a clear understanding that the APA assumes the right to regulate farming.

24. Notwithstanding Staff's demand that the Lewis Family surrender our right to farm, I was informed several times by APA Staff that the farm employee housing cluster near the barns was fine where it is and that the APA would issue a permit for it. But Staff insisted that I had to acknowledge that the APA had jurisdiction over farming and the Lewis Family Farm had to pay a substantial fine for failing to get an APA permit before construction began. Exhibit "A" is a true description of the Lewis Family Farm employee housing project that I provided to the Agency several months ago.

25. In early June 2007, I received a concerned telephone call from the Canadian manufacturer of the farm employee housing, indicating that, due to a significant regulatory change, they could not honor their contract to install the houses after about the first week in July 2007.

26. Since I concluded that this dispute relates only to whether or not a fine is authorized, and since APA Staff informed me that the buildings were permissible to stay where they are, I decided to accept delivery and installation and not allow the buildings to suffer any damage from the elements during the pendency of this dispute. I was also advised by Nixon Peabody that it was permissible as a matter of law. Therefore, we completed the outside of the three houses and much of the interior work on Residence I.

27. On June 26, 2007, I followed the advice of my counsel at Nixon Peabody and I filed a case in Essex County Supreme Court seeking an order from the Court that the APA could not stop the completion of the farm housing project on the Lewis Family Farm because it is beyond the APA's review authority to regulate farms.

28. On June 27, 2007 my counsel at Nixon Peabody received a "Cease and Desist" order from APA Staff stating that construction of the three homes in the cluster must stop, although one of them, as yet unidentified, was legal.

29. Upon receipt of the Cease and Desist Order I again consulted with counsel at the law firm of Nixon Peabody who informed me that, in his legal opinion, farm buildings including farm employee housing were exempt from APA permit requirements and that the Cease and Desist Order was moot because we were in court already and the Judge would decide if construction had to stop.

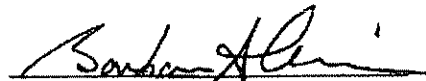
30. At this time, the houses stand as depicted in a series of photographs attached as **Exhibit "H"**. The interiors of the North Family Cottage and South Family Cottage have not been addressed and the homes cannot be occupied. Residence I is largely finished on the inside and could be ready for a certificate of occupancy shortly. I still have no idea as to which of the three houses in the cluster are purportedly illegal. Nonetheless, we have halted construction at this time, at great expense to the farm. A construction Team had been hired originally to work on all the homes simultaneously in order to work cost effectively. The value of this plan was lost.

31. As previously stated, at the time that Agency Staff informed me of their opinion that two of the farm employee houses in the cluster were jurisdictional, Staff demanded a permit application and a \$10,000 fine.

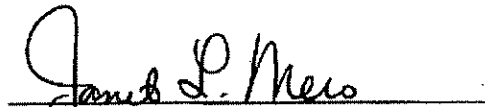


32. At no time between the demand for a \$10,000 fine and Agency Staff's filing before the Commissioners in December 2007, did I receive any notice, warning or information suggesting that the fine might increase.

33. I respectfully ask that the Commissioners dismiss this proceeding in the interests of the Lewis Family Farm's constitutionally protected right to farm. I ask that the Cease and Desist Order be annulled promptly so that the farm employee homes may be finished immediately and allowed to house farm families in the 2008 season.

  
Barbara A. Lewis

Sworn to before me this  
17th day of January, 2008.

  
Notary Public

JANET L. MERO  
NOTARY PUBLIC STATE OF NEW YORK  
NO. 2886400  
QUALIFIED IN ESSEX COUNTY 9/30/07  
COMM. EXPIRES

AFFIDAVIT OF BARBARA A. LEWIS  
SWORN TO JANUARY 17, 2008

EXHIBIT A

### Project Description:

Building of four homes to house farm staff. One home will be located on the site of the former Clark Farm and is to house the farm manager. Detailed plans for this home are included in the packet.

Three homes built in a compound arrangement are for farm employees and their families. These homes are to be built on the site of the former Walker property. The existing home is to be removed as the project nears completion. Plans for these are also included in the packet.

All homes have met New York State building guidelines and have been approved.

Homes will be placed on foundations including a full basement.

All vehicular entrances are by gravel driveway directly to the garage of each home.

The homes in the compound will be served by one loop drive accessing all garages. This road enters and exits on an existing farm road.

The center of the compound is planned to have a communal garden and play area.

The perimeter will be landscaped with indigenous species of trees and shrubs chosen to maximize bird cover, reduce any possible erosion and appear natural.

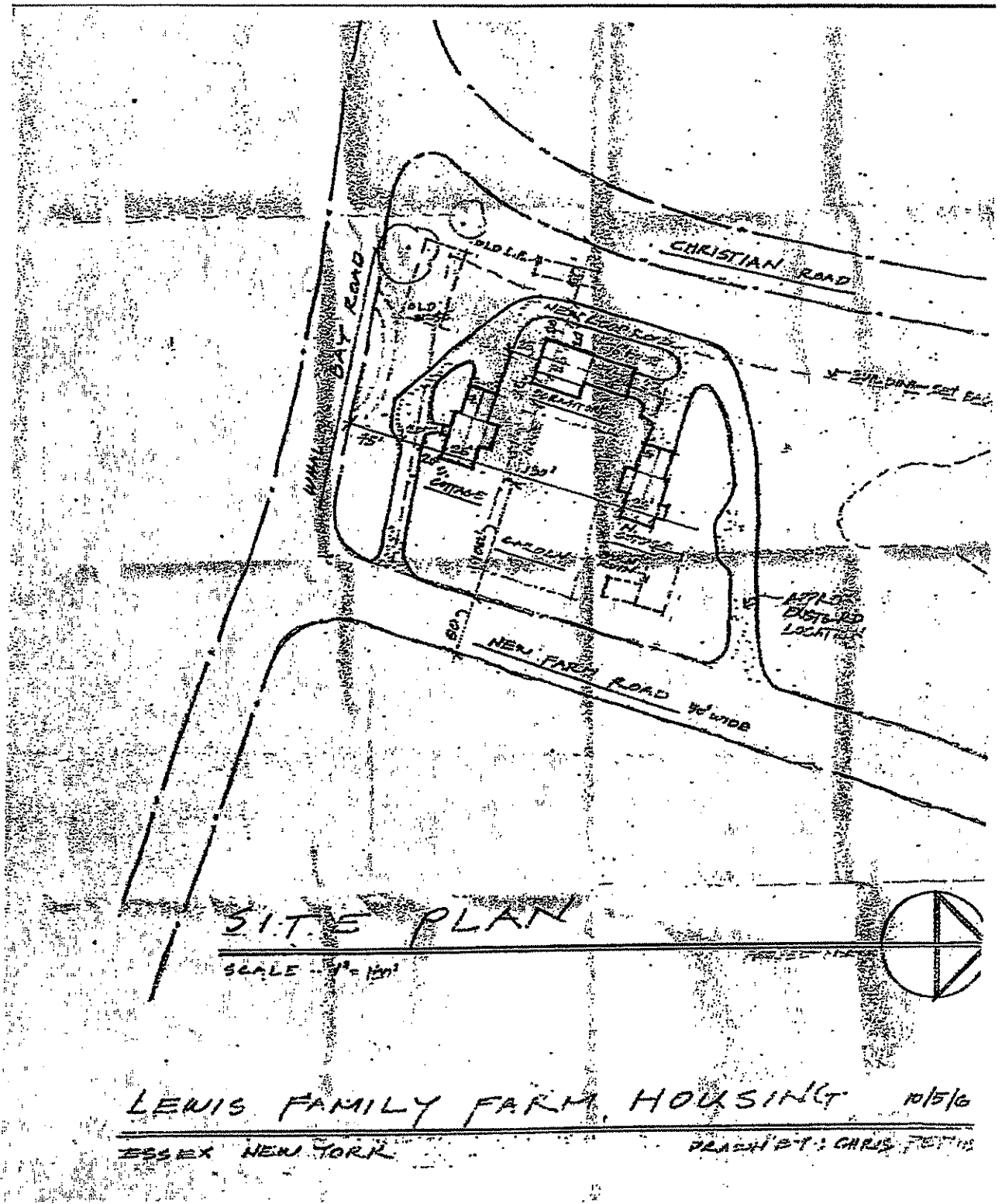
Landscaping around the farm manager's home will meet the same criteria and, in addition will attempt to deal with the creation of dust from Wollastonite tailings created by moving vehicles on the adjacent roads.

Each site has a new dug well and will have an approved new septic system.

In the design of these homes we have attempted to address the architectural vernacular of the region.

**AFFIDAVIT OF BARBARA A. LEWIS  
SWORN TO JANUARY 17, 2008**

**EXHIBIT B**



The Lewis Family Farm employee housing cluster, as engineered and approved by the Town of Essex. (Lewis Aff., Ex. B).

Residence I is labeled "Dormitory" in October 2006.

APPLICATION FOR A PROJECT PERMIT  
TOWN OF ESSEX, NEW YORK

Tax Map Parcel Number: 49.3-2-27.020

11-12-06

Application Date

11-14-06

Date Recorded

2-263

Application #

Barbara Lewis

Applicant's Name

Whallons Bay rd.

Address

Essex

Town

N.Y.

State

12936

Zip

963-4206

Telephone Number

The applicant hereby states that he or she is the owner or authorized agent for which the foregoing work is proposed to be performed, and that he or she is duly authorized to execute such work, and that all work will be performed in accordance with all existing State laws and the Zoning Law in effect in the Town of Essex.

Barbara Lewis

Applicant's Signature

11-12-06

Date

Application is hereby made to:

For the purpose of:

- use
- erect
- repair
- alter
- extend
- remove
- demolish
- occupy
- other \_\_\_\_\_

- residences 3
- commercial business
- industry
- accessory structure
- agricultural use
- forestry use
- mobile home
- public use
- resource extraction
- Other \_\_\_\_\_

Zoning District:

- Essex Hamlet
- Whallonsburgh Hamlet
- Agricultural District
- Forest/Recreation

- Residential I
- Residential II
- Historic Overlay
- Shoreline Overlay

On a separate sheet, describe the project in detail.

This application shall be accompanied by a drawing to scale, showing, but not limited to the following:  
(see reverse side of form)

- |                            |                                      |
|----------------------------|--------------------------------------|
| 1. Lot size                | 9. Water System                      |
| 2. Existing Property Lines | 10. Septic and sewage system         |
| 3. Proposed Structure      | 11. Abutters                         |
| 4. Parking and driveways   | 12. Height: Stories _____ Feet _____ |
| 5. Abutting street width   | 13. Number of family units           |
| 6. Rear Yard set back      | 14. Construction type                |
| 7. Front Yard set back     | 15. Other _____                      |
| 8. Side Yard set back      |                                      |

Date of Action:

Application Received

11-14-06

Supplemental Material Received

\_\_\_\_\_

Fee Paid, Amount: \$ 20.00

\_\_\_\_\_

Application Referred to Planning Board

\_\_\_\_\_

Application Approved by Planning Board

\_\_\_\_\_

Zoning Permit:  Issued ( ) Denied

11-14-06

Reasons for denial:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_


\_\_\_\_\_

\_\_\_\_\_

*David S. Lansing*  
 David Lansing  
 Zoning and Codes Enforcement Officer  
 518-963-4287

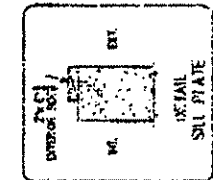
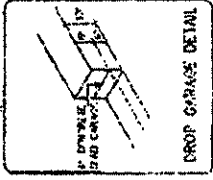
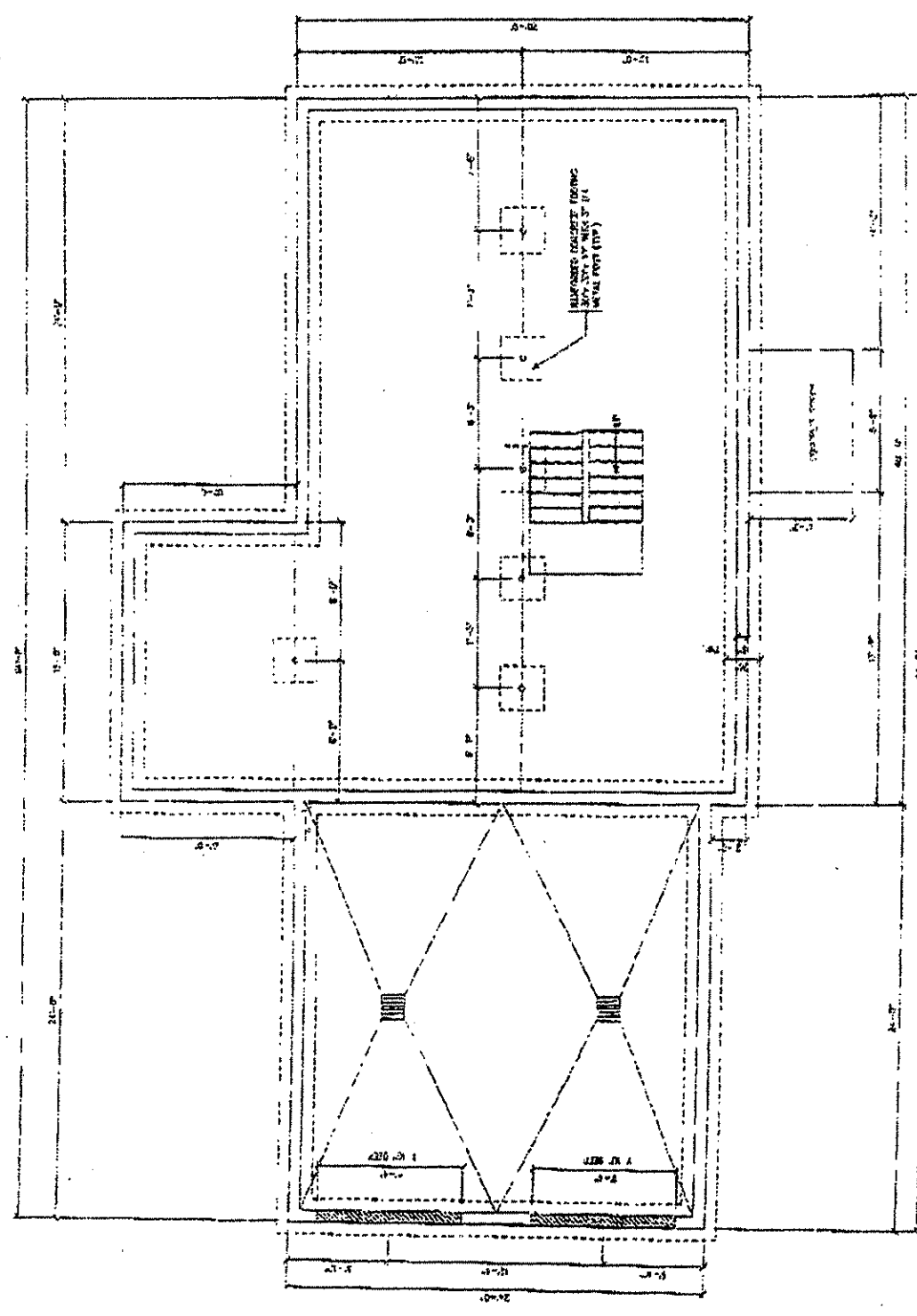
11-14-06  
 Date

# NORTH COTTAGE

<b>REVISIONS</b>		<b>DEMTEC</b>	<b>DATE</b>	
NO.	DESCRIPTION		DATE	BY

PROJECT / PRODUCT NO. 06475	CLIENT / REVIEWER BARBARA LEWIS NORTH COTTAGE	DRAWING / SHEET NO. 06475
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INTERIOR / EXTERIOR INTERIOR	SCALE 1/4" = 1'-0"	DATE 7/10/2006	FOUNDATION PLAN S. KIDWELL'S 1/2" x 1" MARSHIE BEANSER 06475
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NOTE:  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL FOUNDATION WALLS SHALL BE CONCRETE WITH REINFORCING BARS.  
 ALL FOUNDATION WALLS SHALL BE 12\"/>

**FOUNDATION PLAN**

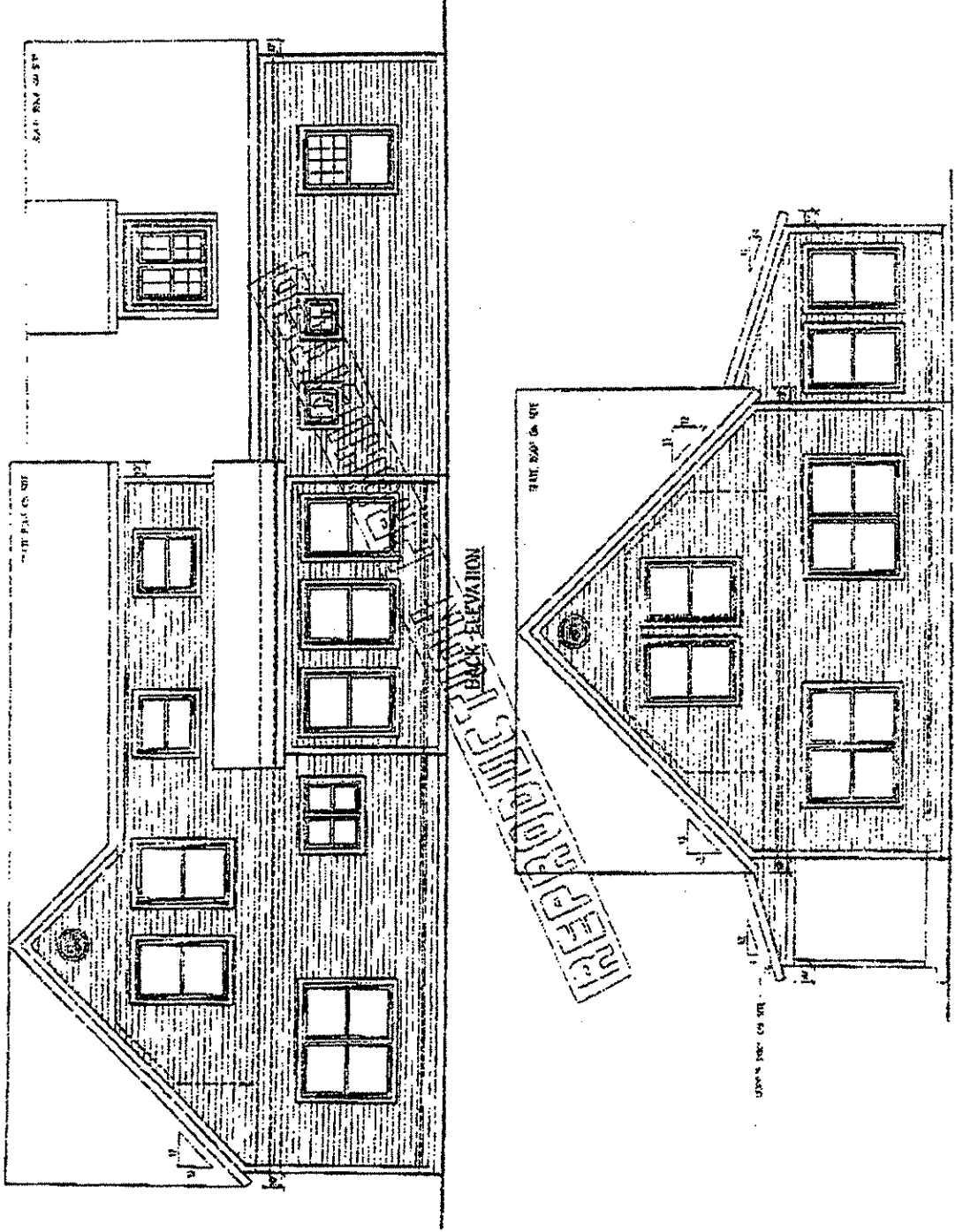




NO.	DESCRIPTION	DATE
1	2. CHANGE OF PRICE	5/1/06
2	CHANGES	5/1/06
3	3. SCHEDULE PERTAIN	5/1/06
4	4. IMPROVEMENTS	5/1/06

CONTRACTOR / VENDOR	BOLEK
DATE	2/10/2006
PROJECT / NAME	BACK LIFTWAY #104
OWNER / CLIENT	TRAVELER / TRAVELER
ADDRESS / CITY	5. HODDINGS
STATE / ZIP	VA 22031
DESIGNER / ARCH	WENDELL W. BRACKER JR
PROJECT NO.	060475



RIGHT ELEVATION

BACK ELEVATION

NO.	DESCRIPTION	DATE
1	TOTALS	5/7/78
2	CHANGES	12/78
3	REVISED	12/78
4	REVISED	12/78
5	REVISED	12/78

NO. IN PAGES / SHEET NO.  
08/475

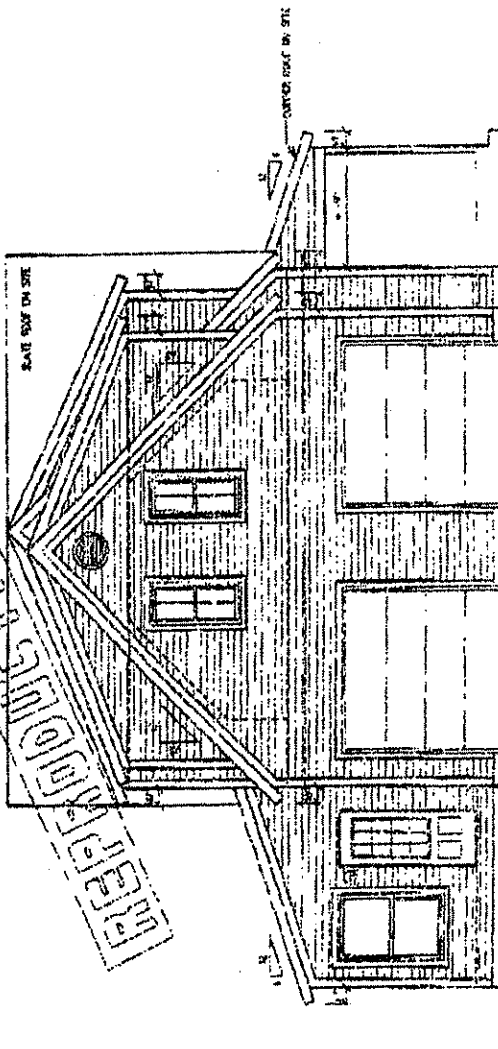
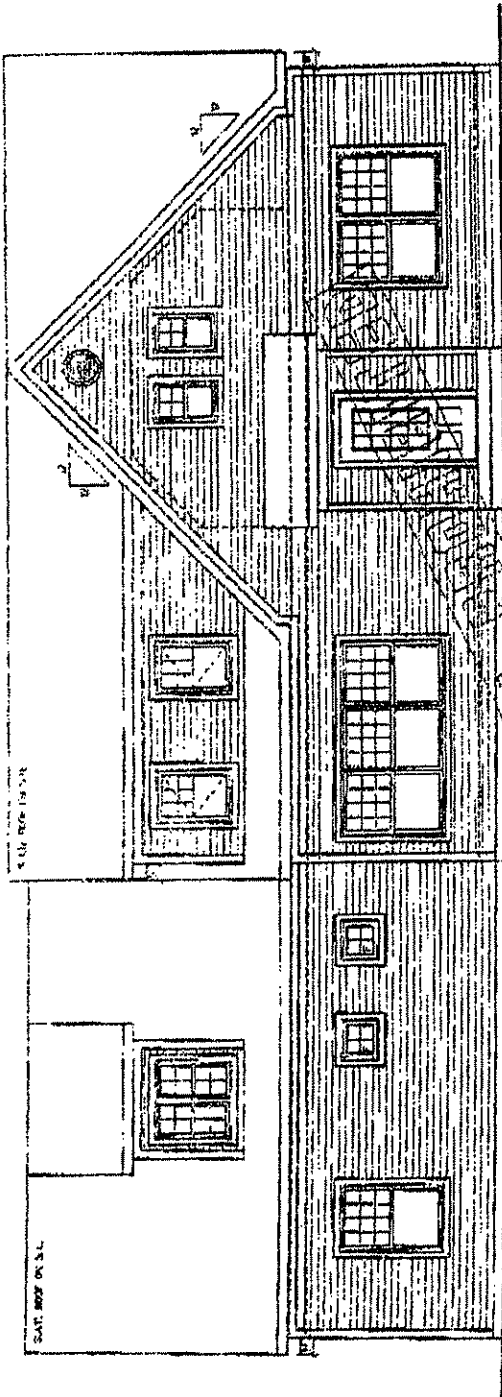
CLIENT / PROJECT  
BARBARA LEWIS  
NORTH COTTAGE

NO. IN BLOCK / SHEET NO.



**DENTEC**

NO. OF SHEETS / TOTALS	NO. OF SHEETS / TOTALS
DATE	DATE
2/10/2018	2/10/2018
FRONT ELEVATION	FRONT ELEVATION
REVISIONS / COMMENTS	REVISIONS / COMMENTS
5 REVISIONS	5 REVISIONS
DATE / BY	DATE / BY
2/10/18	2/10/18
PROJECT NO. / SHEET NO.	PROJECT NO. / SHEET NO.
08-475	08-475



EAST ELEVATION



**Building Codes Department**  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-662

DATE: 11-30-06

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM

permitting CONSTRUCTION OF A SINGLE FAMILY HOME FOR FARM RESIDENCE

at 1058 WHALLOWAY RD ESSEX, N.Y. 12936

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code, and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.

- |  |   |
|--|---|
| Footings before pouring concrete ... _____ | Foundation before backfill ..... _____                          |
| Framing before enclosing ..... _____       | Electrical before enclosing ..... _____                         |
|  | Inspection to be done by electrical inspection agency           |
| Plumbing before enclosing ..... _____      | Heating, Ventilation, Air Conditioning before enclosing.. _____ |
| Insulation Inspection ..... _____          | Final Inspection ..... _____                                    |

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

  
\_\_\_\_\_  
Issuing Officer

APPLICATION FOR A PROJECT PERMIT  
TOWN OF ESSEX, NEW YORK

Tax Map Parcel Number: 49.3-2-27.00

11-30-06  
Application Date

11-30-06  
Date Recorded

7-264  
Application #

LEWIS FAMILY FARM  
Applicant's Name

1058 WHALLONSBAY RD  
Address

ESSEX N.Y. 12936 \_\_\_\_\_  
Town State Zip Telephone Number

The applicant hereby states that he or she is the owner or authorized agent for which the foregoing work is proposed to be performed, and that he or she is duly authorized to execute such work, and that all work will be performed in accordance with all existing State laws and the Zoning Law in effect in the Town of Essex.

R. A. HARRIS 129.122.1 11-30-06  
Applicant's Signature Date

Application is hereby made to:

For the purpose of:

- use
- erect
- repair
- alter
- extend
- remove
- demolish
- occupy
- other \_\_\_\_\_

- residence
- commercial business
- industry
- accessory structure
- agricultural use
- forestry use
- mobile home
- public use
- resource extraction
- Other FARM HELP  
RESIDENCE

Zoning District:

- Essex Hamlet
- Whallonsburgh Hamlet
- Agricultural District
- Forest/Recreation
- Residential I
- Residential II
- Historic Overlay
- Shoreline Overlay

On a separate sheet, describe the project in detail.

This application shall be accompanied by a drawing to scale, showing, but not limited to the following:  
(see reverse side of form)

- |                            |                                      |
|----------------------------|--------------------------------------|
| 1. Lot size                | 9. Water System                      |
| 2. Existing Property Lines | 10. Septic and sewage system         |
| 3. Proposed Structure      | 11. Abutters                         |
| 4. Parking and driveways   | 12. Height: Stories _____ Feet _____ |
| 5. Abutting street width   | 13. Number of family units           |
| 6. Rear Yard set back      | 14. Construction type                |
| 7. Front Yard set back     | 15. Other _____                      |
| 8. Side Yard set back      |                                      |

SEE ATTACHED DWGS

Date of Action: 11-30-06

Application Received \_\_\_\_\_

Supplemental Material Received \_\_\_\_\_

Fee Paid, Amount: \$ 20.00

Application Referred to Planning Board NO

Application Approved by Planning Board N/A

Zoning Permit:  Issued ( ) Denied 11-30-06

Reasons for denial: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

David Lansing  
 David Lansing  
 Zoning and Codes Enforcement Officer  
 518-963-4287

11-30-06  
 Date

# FARM MANAGER HOUSE

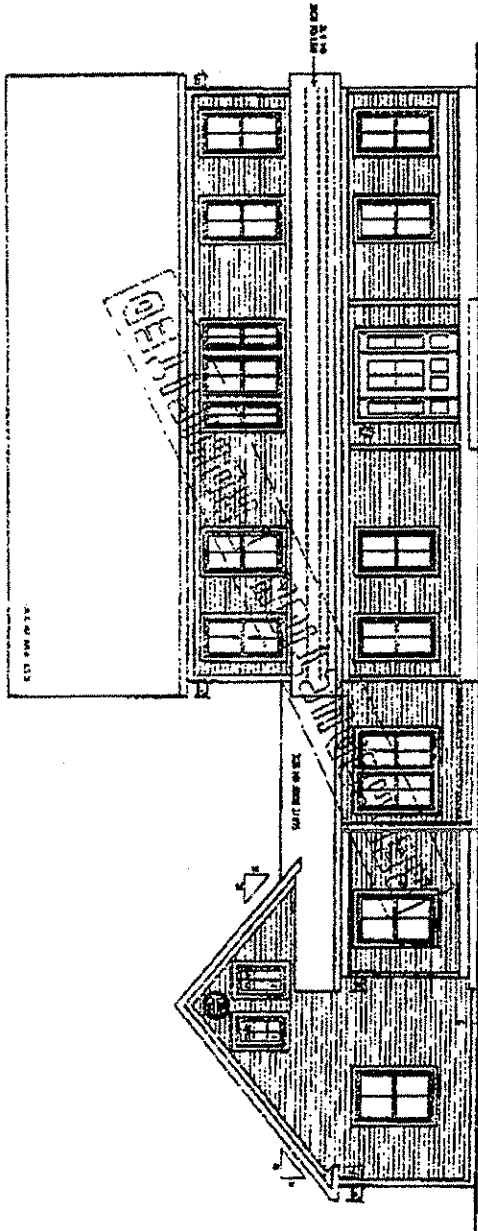


NO.	DESCRIPTION	DATE
1	FOUNDATION	1/10
2	WALLS & ROOFING	5/10
3	DOOR & WINDOW	5/10
4	UPPER FINISHING	12/10
5	PAINT WORK	12/10

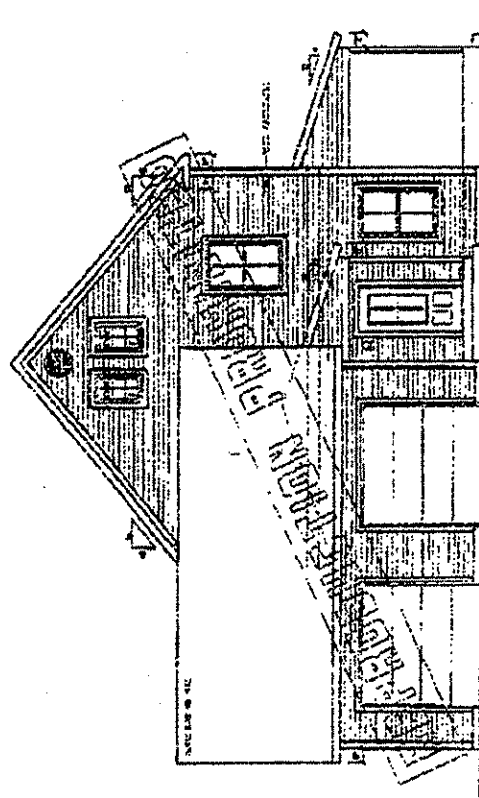
NO. OF PAGES / SHEETS NO.  
 05-651  
 CLIENT / COMPANY  
 BARBARA LEWIS  
 BARCO HOUSE  
 NO. OF PAGES / SHEETS NO.

NO.	DESCRIPTION	DATE
1	FOUNDATION	1/10
2	WALLS & ROOFING	5/10
3	DOOR & WINDOW	5/10
4	UPPER FINISHING	12/10
5	PAINT WORK	12/10

NO. OF PAGES / SHEETS NO.  
 05-651  
 CLIENT / COMPANY  
 BARBARA LEWIS  
 BARCO HOUSE  
 NO. OF PAGES / SHEETS NO.



FRONT ELEVATION



SIDE ELEVATION

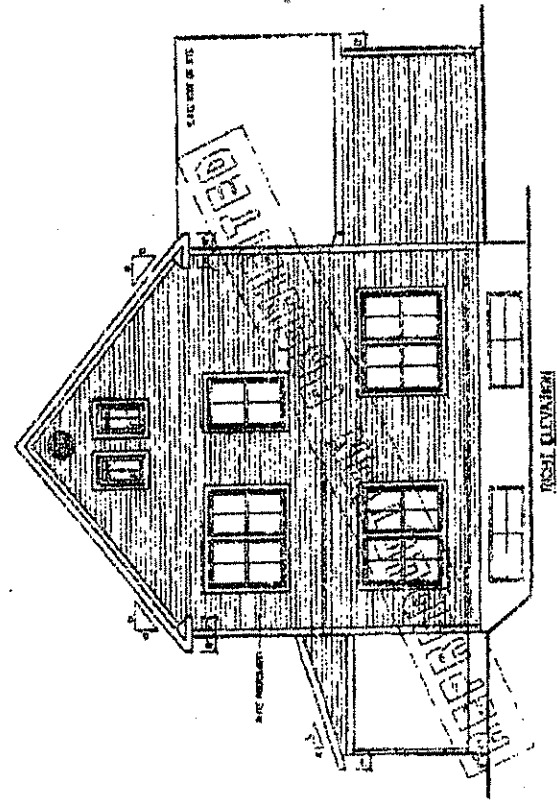
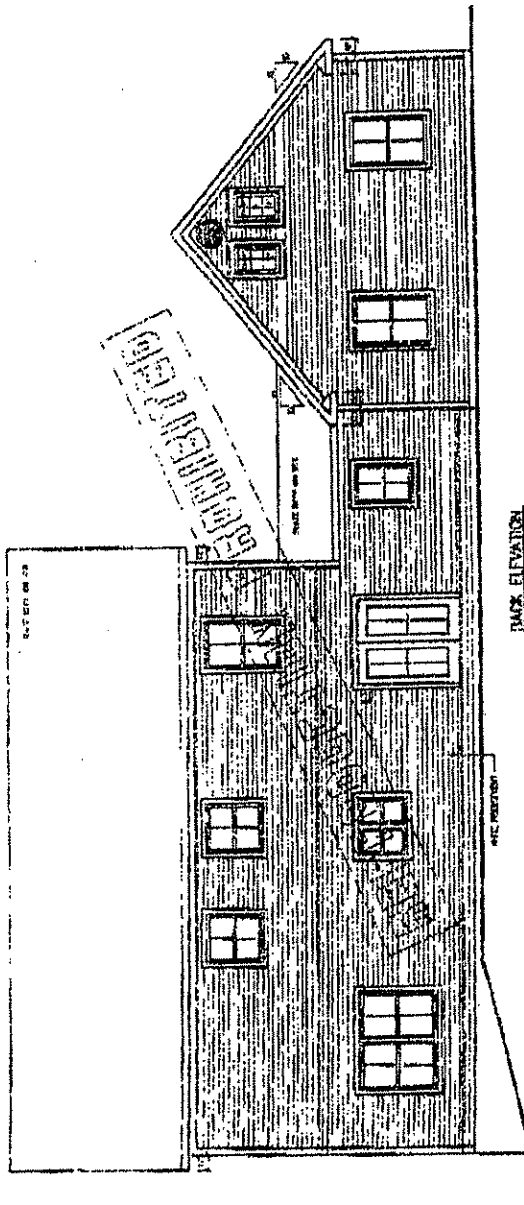


NO.	DESCRIPTION	DATE
1	1" BUREAU	2/10
2	SHARP TABLE	2/10
3	SHARP DOOR HANDLE	11/19
4	SHARP POLE	2/10
5	SHARP HANDLE	11/10
6	SHARP HANDLE	2/10

PROJECT / PROJECT NO.  
 08461  
 CLIENT / CONTRACTOR  
 DIARRHUA LEWIS  
 MARCO HOUSE  
 100 W. 10TH ST. / WHEELING, WV.

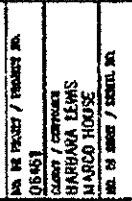


NO.	DESCRIPTION	DATE
1	1" BUREAU	2/10
2	SHARP TABLE	2/10
3	SHARP DOOR HANDLE	11/19
4	SHARP POLE	2/10
5	SHARP HANDLE	11/10
6	SHARP HANDLE	2/10



NO.	DESCRIPTION	DATE
1	ADD GARAGE	2/8
2	REVISIONS	2/8
3	REVISIONS	2/8
4	REVISIONS	2/8
5	REVISIONS	2/8
6	REVISIONS	2/8
7	REVISIONS	2/8
8	REVISIONS	2/8
9	REVISIONS	2/8
10	REVISIONS	2/8

NO. 10 PERMIT / PERMIT NO.  
 05453  
 COUNTY / JURISDICTION  
 BARBARA LEAS  
 MARCO HOUSE  
 NO. 10 STREET / STREET NO.



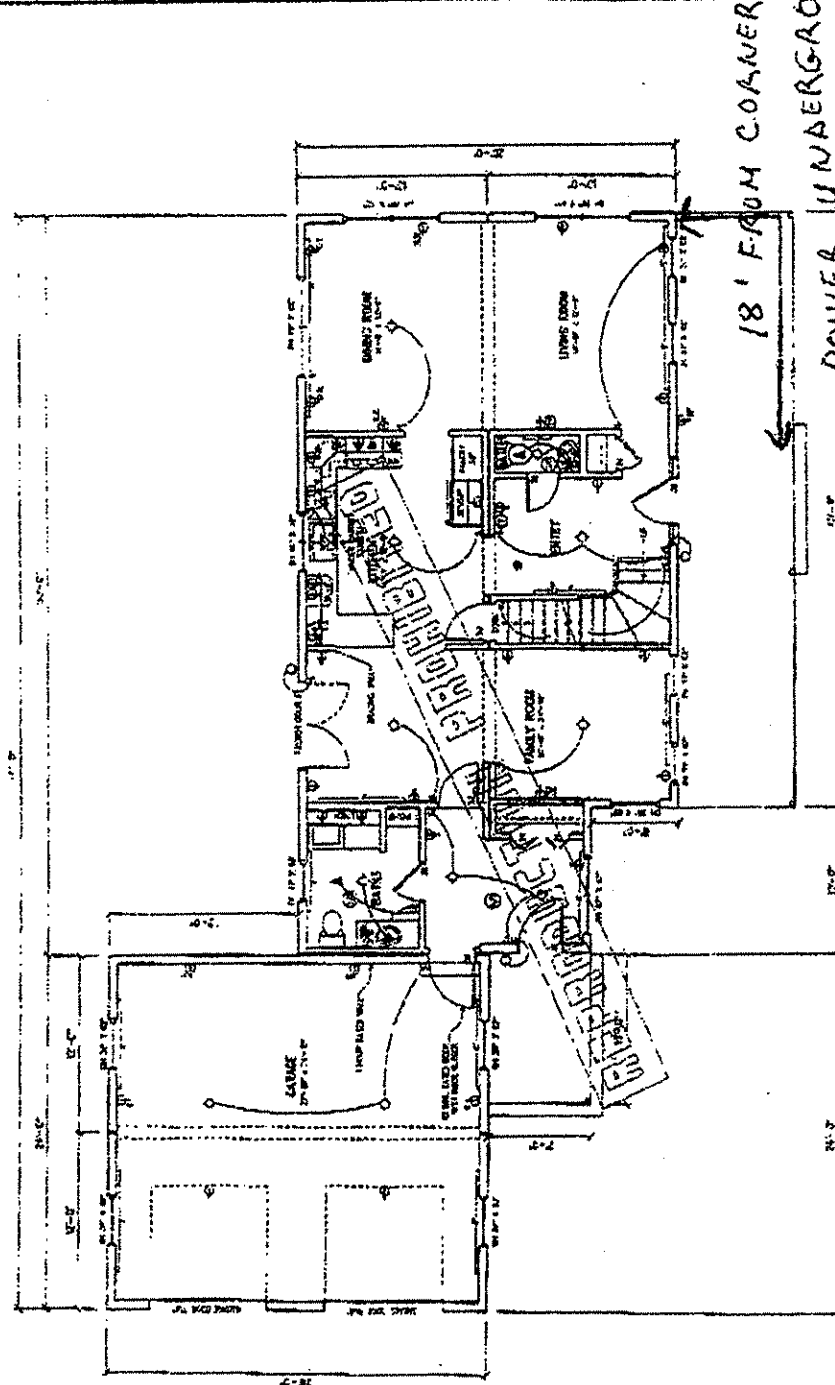
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2	REVISIONS	2/8
3	REVISIONS	2/8
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5	REVISIONS	2/8
6	REVISIONS	2/8
7	REVISIONS	2/8
8	REVISIONS	2/8
9	REVISIONS	2/8
10	REVISIONS	2/8

NO. 10 PERMIT / PERMIT NO.  
 05453  
 COUNTY / JURISDICTION  
 BARBARA LEAS  
 MARCO HOUSE  
 NO. 10 STREET / STREET NO.

NO.	DESCRIPTION	DATE
1	ADD GARAGE	2/8
2	REVISIONS	2/8
3	REVISIONS	2/8
4	REVISIONS	2/8
5	REVISIONS	2/8
6	REVISIONS	2/8
7	REVISIONS	2/8
8	REVISIONS	2/8
9	REVISIONS	2/8
10	REVISIONS	2/8

NO. 10 PERMIT / PERMIT NO.  
 05453  
 COUNTY / JURISDICTION  
 BARBARA LEAS  
 MARCO HOUSE  
 NO. 10 STREET / STREET NO.

NO.	DESCRIPTION	DATE
1	ADD GARAGE	2/8
2	REVISIONS	2/8
3	REVISIONS	2/8
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7	REVISIONS	2/8
8	REVISIONS	2/8
9	REVISIONS	2/8
10	REVISIONS	2/8



18' FROM CORNER  
 POWER UNBERGROUN

1st FLOOR ELECTRIC PLAN

- SYMBOLS:**
- - 15 AMP GFI
  - - 20 AMP GFI
  - - 30 AMP GFI
  - - 40 AMP GFI
  - - 50 AMP GFI
  - - 60 AMP GFI
  - - 70 AMP GFI
  - - 80 AMP GFI
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  - - 1000 AMP GFI



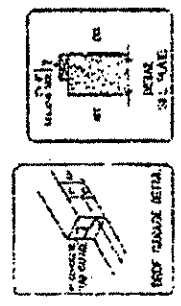
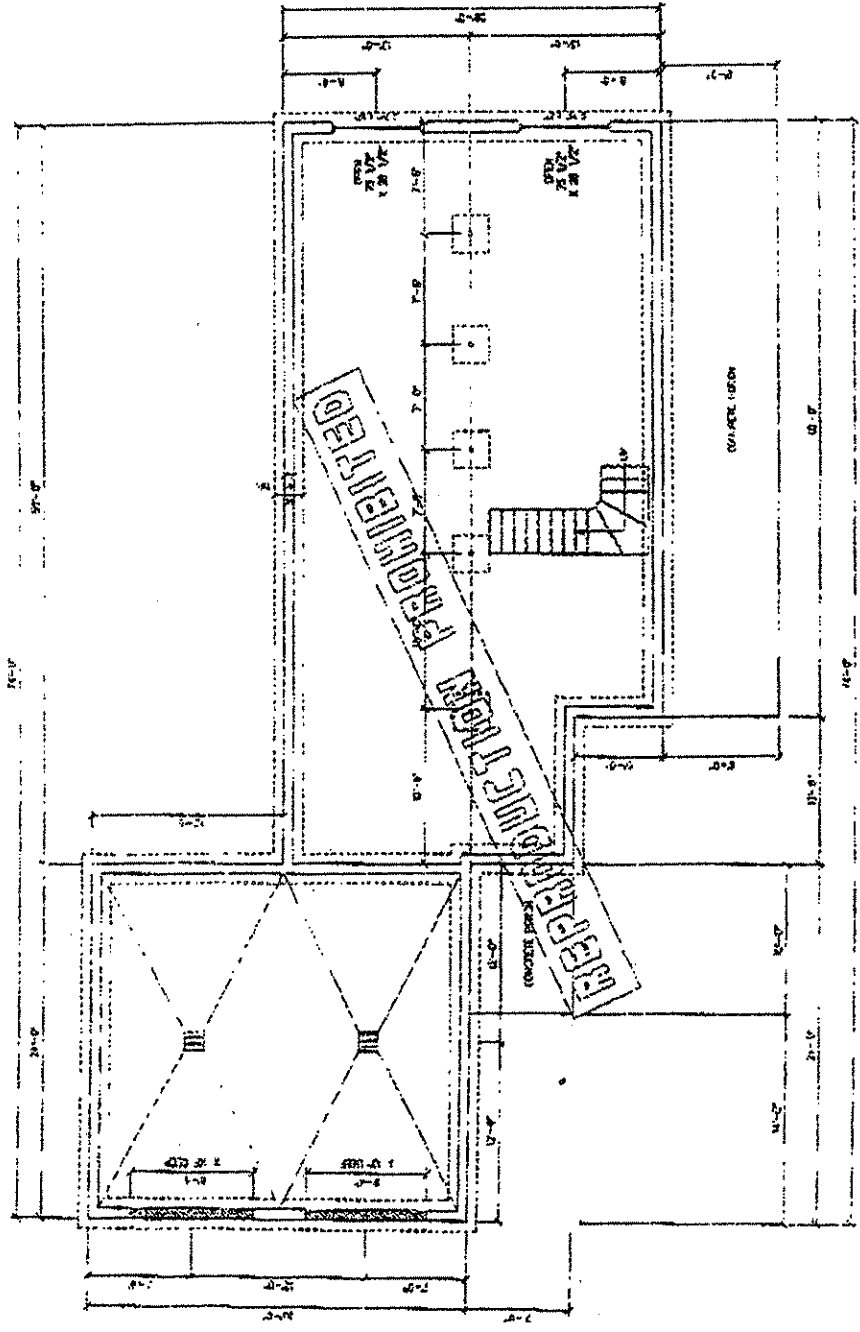
NO.	DESCRIPTION	DATE
1	ISSUED	12/11
2	ISSUED	12/11

NO. ON ORDER / PROJECT NO.  
 05461

OWNER / CONTRACTOR  
 BARBARA LEWIS  
 MARCO HOUSE  
 200 W. 10TH / TULSA, OK



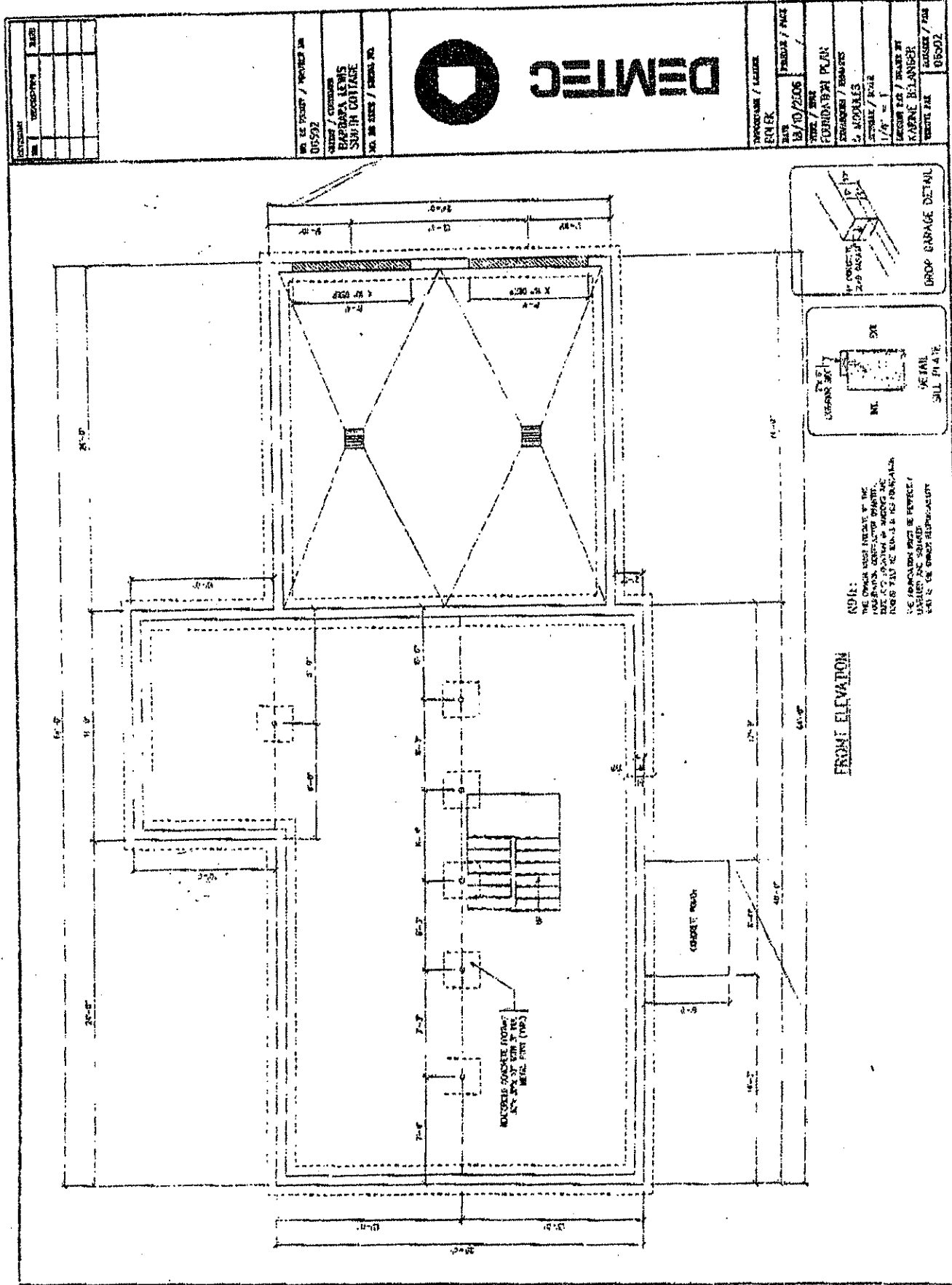
EXTERIOR / INTERIOR  
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 DATE / PROJECT / TASK  
 10/11/2006  
 FOUNDATION PLAN  
 FOUNDATIONS / DRAWINGS  
 A. MICHILES  
 REVISION / DRAWN  
 3/15/06 - Y  
 CHECKED THE / DATED BY  
 KAMRINE BLANDER  
 PROJECT / JOB  
 06461



NOTE  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED  
 FOUNDATION SHALL BE CONCRETE  
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FOUNDATION PLAN

SOUTH COTTAGE



NO.	REVISION	DATE

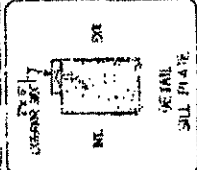
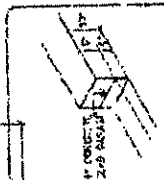
NO. OF SHEETS / NUMBER IN SET  
06592

NAME / COMPANY  
BARBARA LEWIS  
SOUTH COTTAGE

NO. OF SHEETS / SHEET NO.



DESCRIPTION / LETTER	QUANTITY / AREA
CONCRETE	18/10/2006
WOOD / BRICK	FOURDAWH PLAN
FOUNDATION / BRACKETS	2. APPROX
APPROX / R/R	1/4" = 1'
FOUNDATION / BRACKETS	KAPINE BEAMER
CONCRETE / BRACKETS	06592 / 06



NOTE:  
THE OWNER MUST NOTIFY THE  
POLICE WITHIN 48 HOURS OF  
ANY WORK BEING DONE IN  
THE AREA OF THE GARAGE.  
THE POLICE WILL BE NOTIFIED  
BY THE OWNER.  
THE POLICE WILL BE NOTIFIED  
BY THE OWNER.

FROM ELEVATION



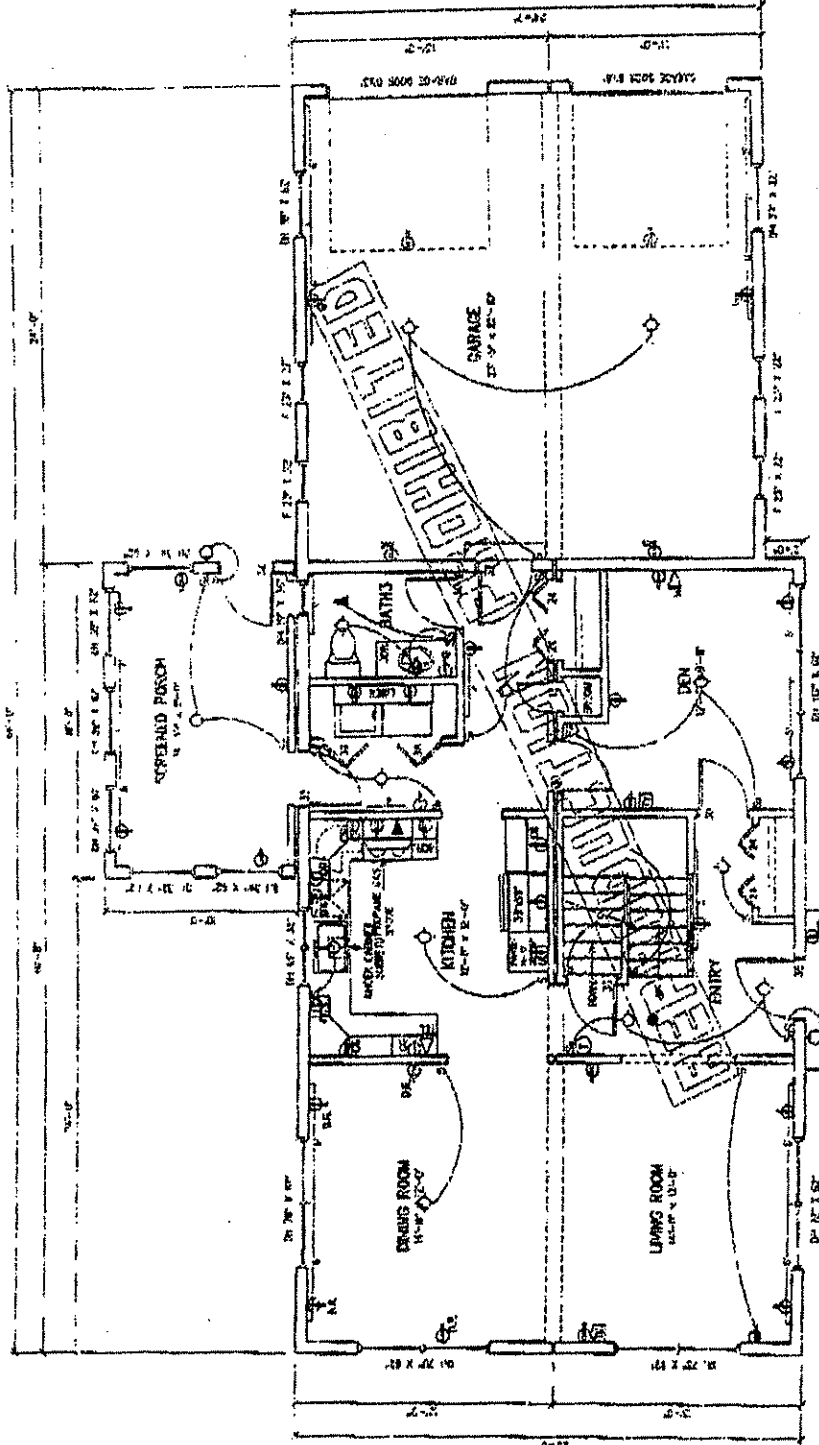
NO.	DESCRIPTION	DATE
1	BASELINE	5/17/78
2	ELECTRIC PLAN	5/20/78

386502  
 CLIENT / CONTRACTOR  
 BARBARA LEWIS  
 SOUTH COTTAGE  
 1001 W. 10TH / CHICAGO, ILL.



**DENTEC**

PREPARED BY / TITLE	DATE
1/8/78/2205	1/8/78
PROJECT / ROOM	
1ST FLOOR PLAN	
REVISIONS / REMARKS	
1. 11/4" = 1'	
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1ST FLOOR ELECTRIC PLAN

NO.	REVISION	DATE
1	ISSUE FOR COST	09/02

NO. OF PAGES / PROJECT NO.  
000002

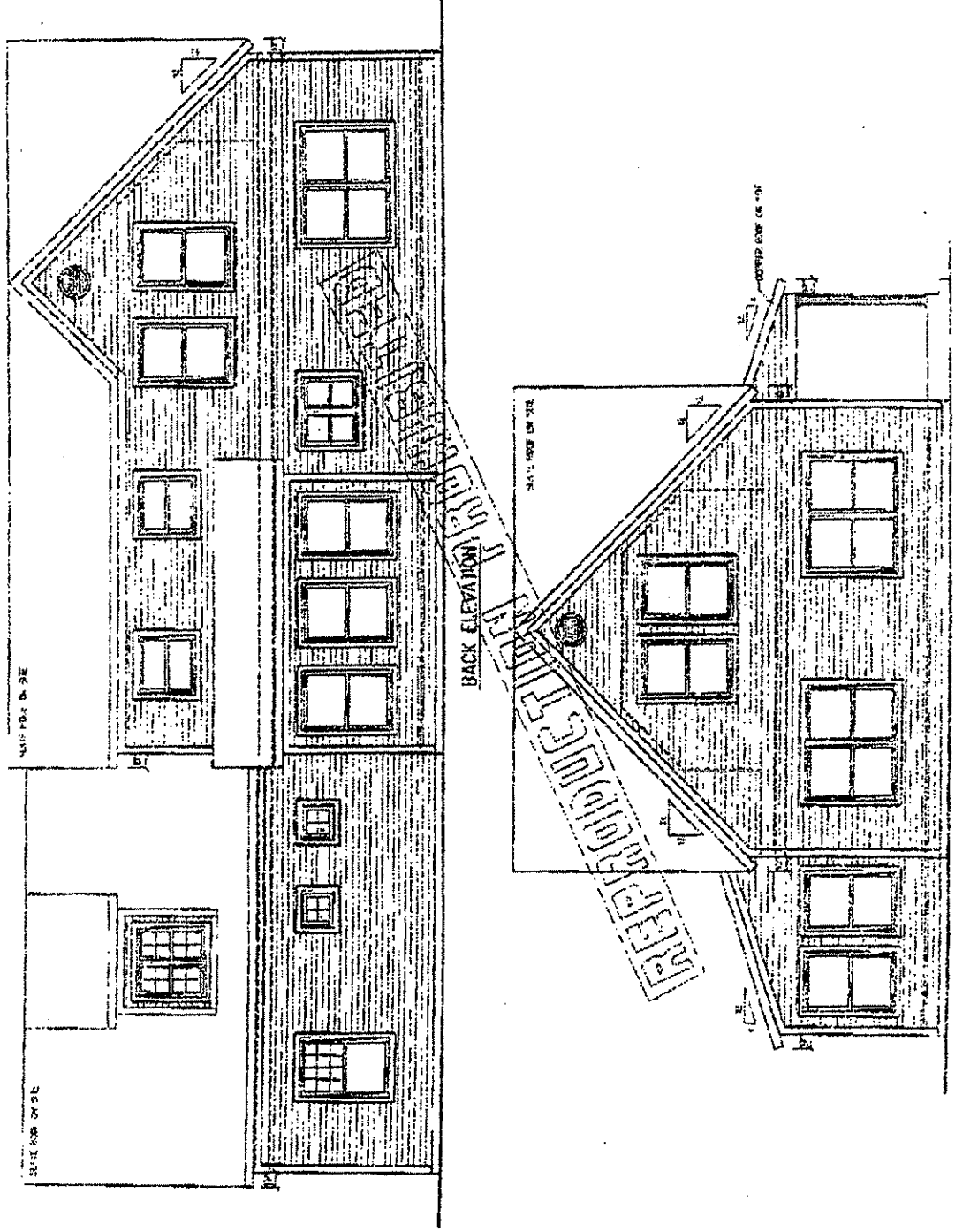
CLIENT / CONTRACTOR  
BARBARA LEWIS  
SMITH Cottage

NO. FOR ORDER / SERIAL NO.



**DENTEC**

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DATE	19/10/2006
TYPE / TITLE	BACK ELEVATION
SCALE	1:1
PROJECT / PHASE	REVISED / DATE
DATE	19/10/2006
TYPE / TITLE	BACK ELEVATION
SCALE	1:1
PROJECT / PHASE	REVISED / DATE
DATE	19/10/2006
TYPE / TITLE	BACK ELEVATION
SCALE	1:1
PROJECT / PHASE	REVISED / DATE
DATE	19/10/2006
TYPE / TITLE	BACK ELEVATION
SCALE	1:1





NO.	DESCRIPTION	DATE
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005002

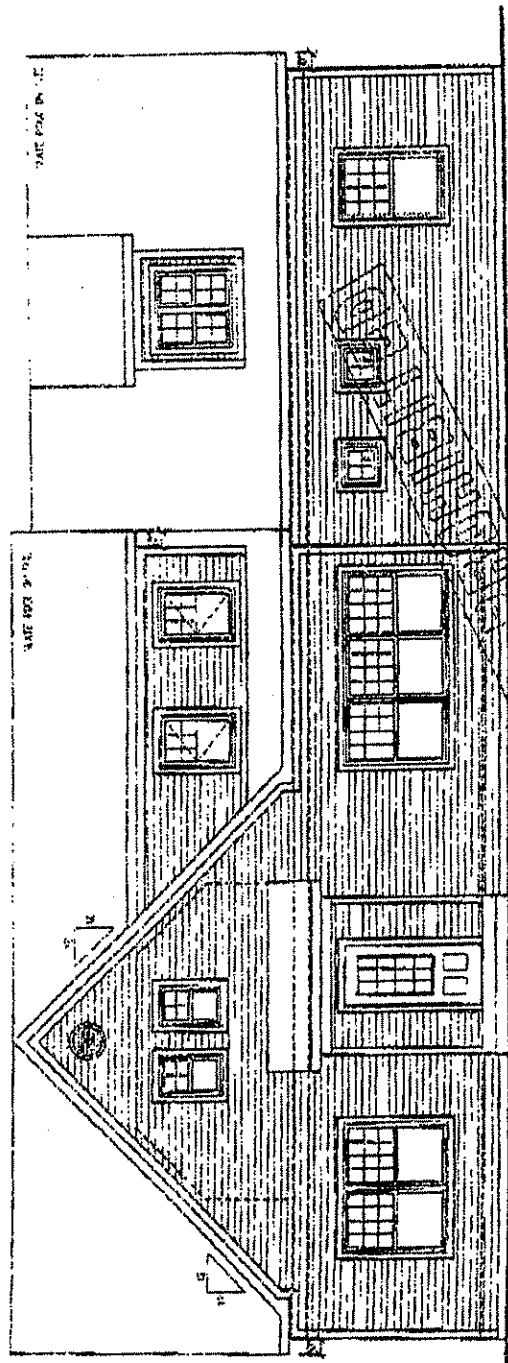
OWNER / ARCHITECT  
BARBARA LEWIS  
SOJUNG COITAGE

NO. 001 DESIGN / DESIGN NO.

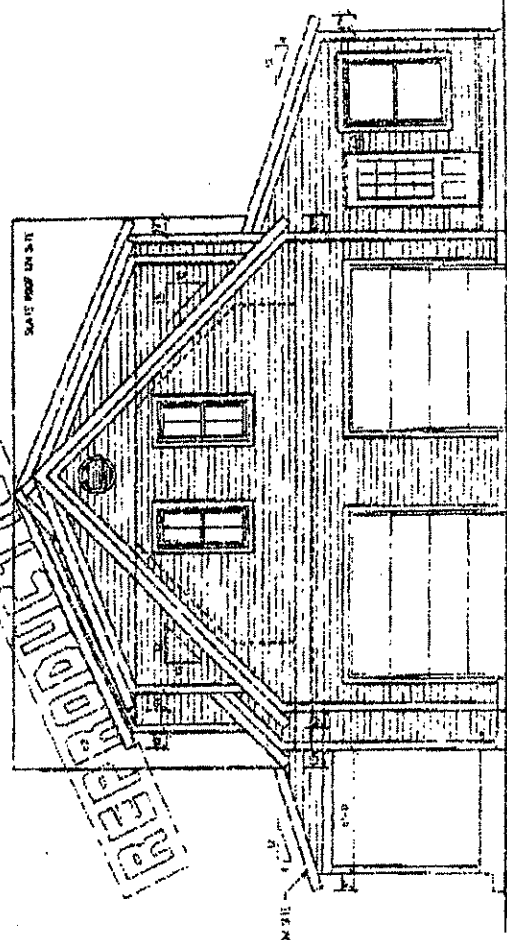


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VERSIONS / TRACKS	DATE	DESCRIPTION / PAGE
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02	01/10/2006	FRONT ELEVATION
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04	01/10/2006	REVISIONS / REVISIONS
05	01/10/2006	REVISIONS / REVISIONS
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REVISIONS



RIGHT ELEVATION

RESIDENCE 1

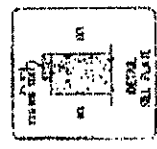
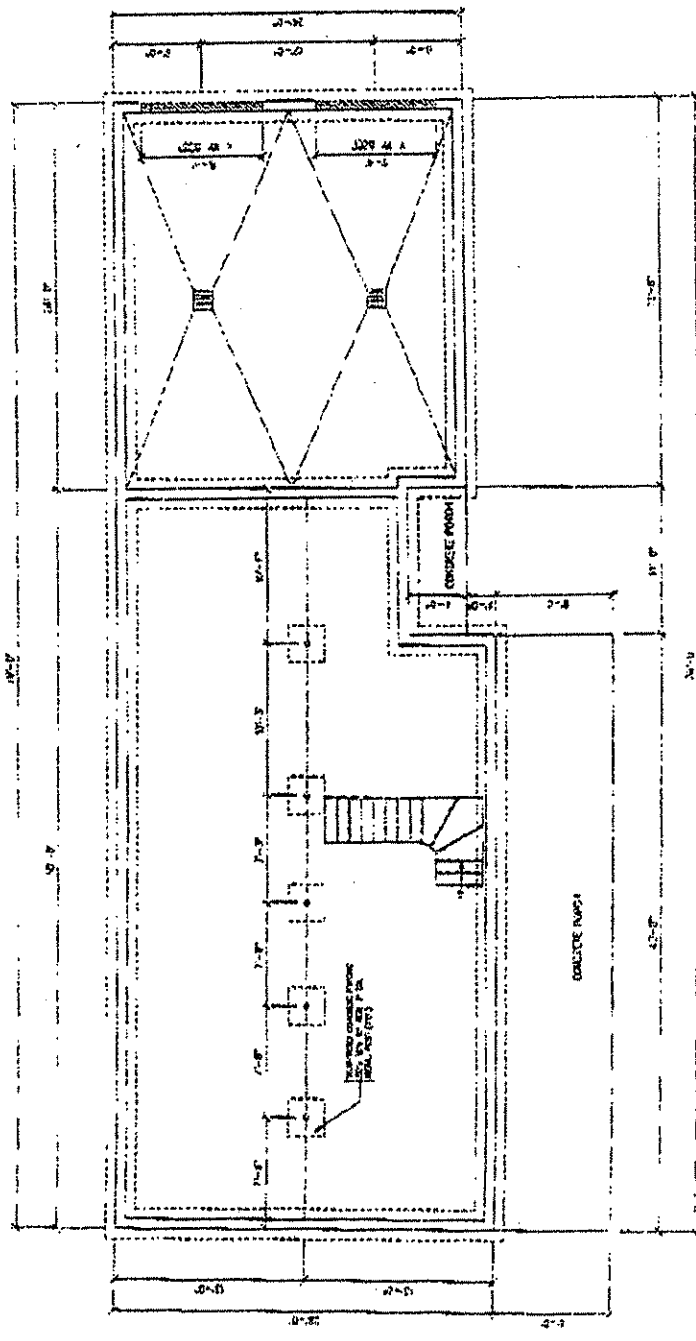


DEMTEC

NO.	DESCRIPTION	DATE

NO. OF SHEETS / PROJECT NO.  
 05460  
 CLIENT / ADDRESS  
 BARBARA LEWIS  
 RESIDENCE #1  
 NO. OF SHEETS / SHEET NO.

CONTRACT / VALUE  
 000000  
 DATE  
 15/10/2018  
 SHEETS / PACK  
 001 / 001  
 FOUNDATION PLAN  
 CONTRACTOR / DRAWN  
 G. MURPHY  
 CHECKED / SCALE  
 1/16" = 1'  
 DESIGNER / VALUE OF  
 M. NGUYEN BELLAIR  
 NUMBER / DATE  
 00460



NOTE: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

FOUNDATION PLAN

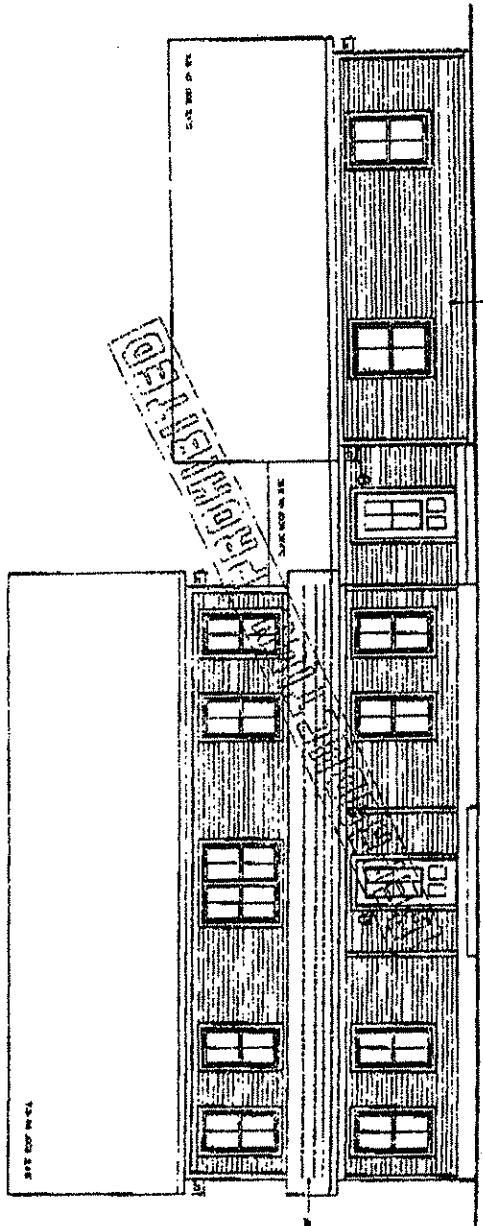
NO.	DESCRIPTION	DATE
1	FOUNDATION	2/78
2	FRONT ELEVATION	2/78
3	REAR ELEVATION	2/78
4	INTERIOR FINISH	2/78

NO. OF PERMIT / PERMIT NO.  
 05-860  
 AGENT / CONTRACTOR  
 BARBARA LEWIS  
 RESIDENCE ( )  
 NO. OF SHEET / TOTAL SHE.

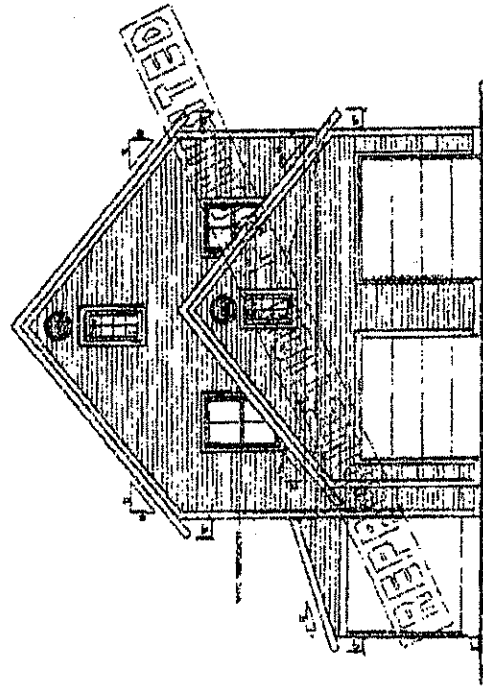


**DEMTEC**

REVISIONS / DATE	DATE
BY/CHK	22/09/2008
PROJECT / PLAN	FRONT / REAR
PROJECT ELEVATION	
ENGINEER / ARCHITECT	
C. MOKKES	
SCALE / WALL	
3/16" = 1'	
DRAWN BY / CHECK BY	
BARBARA BELANGER	
PROJECT FILE	
ISSUE NO. / TOTAL	06/80



FRONT ELEVATION



RIGHT ELEVATION

NO.	DESCRIPTION	DATE	AMOUNT
1	PAVE ROAD	8/70	
2	REPAIRING OF L&P	7/6	
3	REPAIRING	5/6	
4	REPAIRING	5/6	
5	REPAIRING	5/6	

NO. OF SHEETS / PROJECT NO.  
05460

OWNER / CONTRACTOR  
BARBARA LEWIS  
RESIDENCE (1)

NO. OF SHEETS / SHEET NO.  
1



DENTEC

DATE / TIME  
22/09/2008

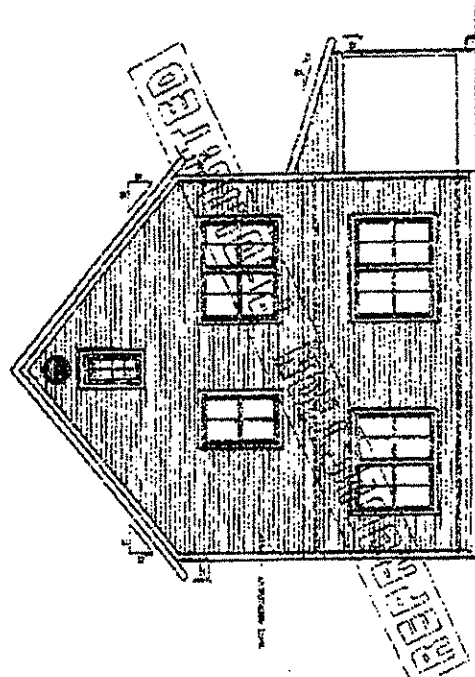
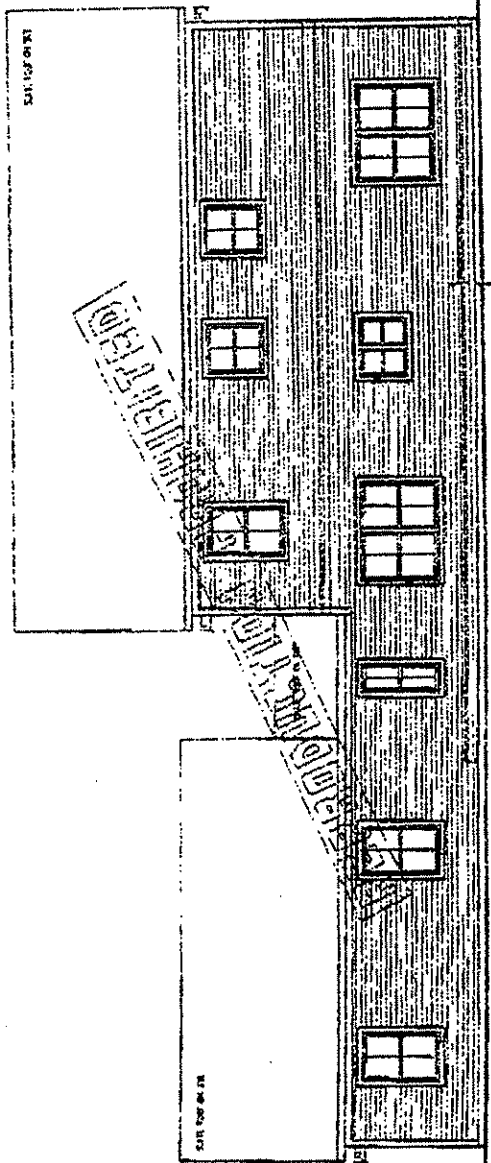
PROJECT / ADDRESS  
A BONDAGES

SCALE / FEET  
3/16" = 1'

PROJECT ELEVATION  
FRONT ELEVATION

PROJECT / ADDRESS  
KABINE BEI ANGER

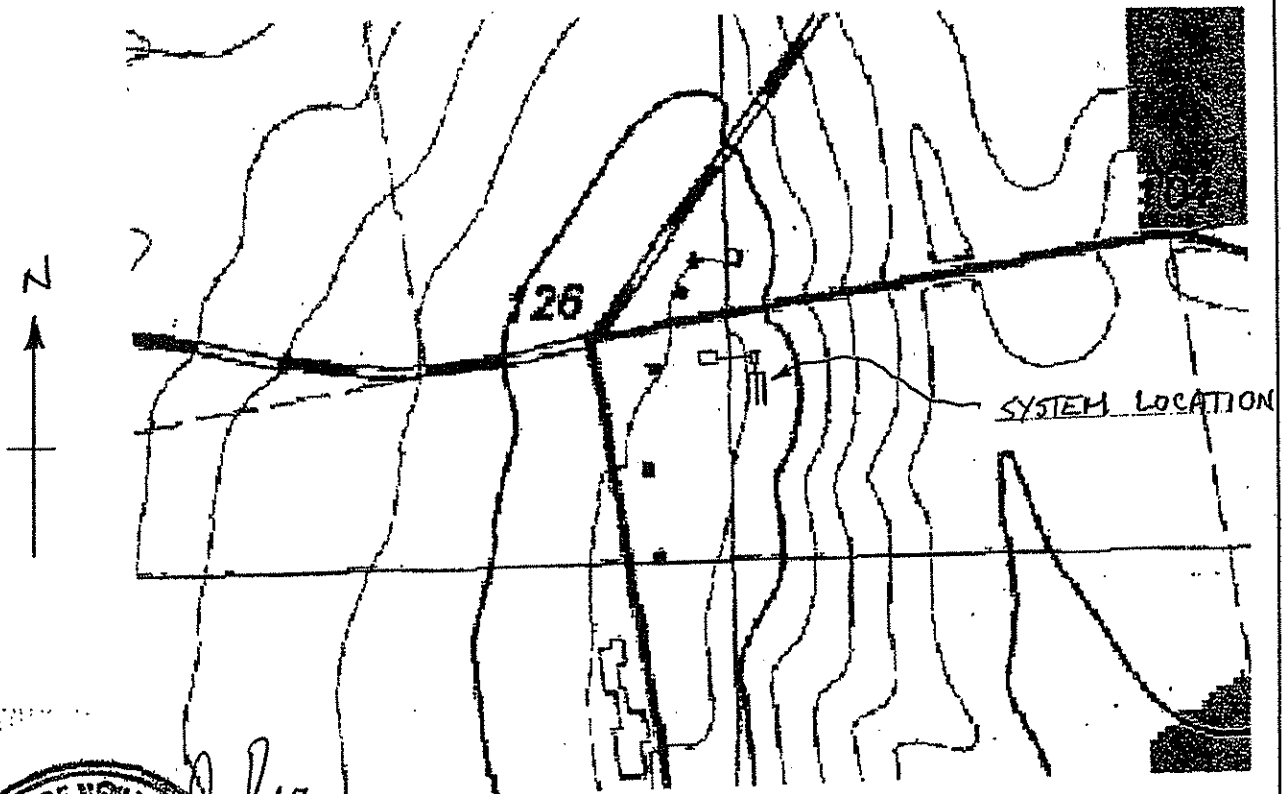
PROJECT NO.  
05460





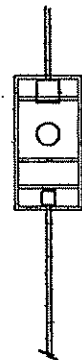


REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (FEET)					
SYSTEM COMPONENT	WELL OR SUCTION LINE	TO STREAM, LAKE WATERCOURSE OR WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH
HOUSE SEWER	50	25	3	10	-
SEPTIC TANK	50	50	10	10	10
EFFLUENT LINE TO DISTRIBUTION BOX	50	50	10	10	10
DISTRIBUTION BOX	100	100	20	10	20
ABSORPTION FIELD	100	100	20	10	20
SEEPAGE PIT	150	100	20	10	20
DRY WELL (ROOF AND FOOTING)	50	25	20	10	10
RAISED OR MOUND SYSTEM	100	100	20	10	20

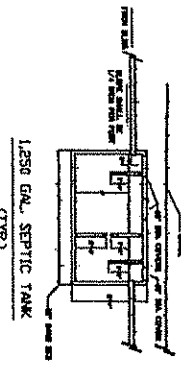


LEWIS HOUSE PROJECT	
CROSS ROAD	
WHALLENSBURG, NY	
SITE PLAN	
DATE: 12-2-06	DRAWN BY: MARK BUCKLEY
SCALE: NONE	

REQUIRED LENGTH OF ABSORPTION TRENCH				
PERC. RATE	FLOW RATE (GALS./DAY)			
100/INCH	2 BORN CADD	3 BORN CADD	4 BORN CADD	
74			100	
SEPTIC TANK SIZE (GAL.)			1250	



1250 GAL. SEPTIC TANK  
(TYPE 2)



1250 GAL. SEPTIC TANK  
(TYPE 1)

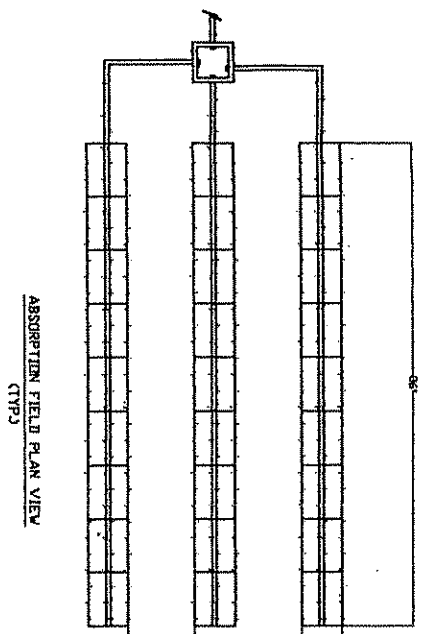
TEST HOLE	DEPTH	SHOW	REMARKS	NOTES	DATE
TP 1	58"	19"	36"	5-7" SANDY CLAY LOAM, 3-5" SANDY CLAY, 67-69" SANDS OF CLAY AND SAND, 45-50" HARDENED/STILL, MOTTLED & 1"	
PERCOLATION TEST RATES					
TEST HOLE	DEPTH	PERC. RATE (GALS./DAY)			DATE
SP 1	15"	24			11-19-06
SP 2	10"	8			11-19-06

DEEP HOLE TESTS

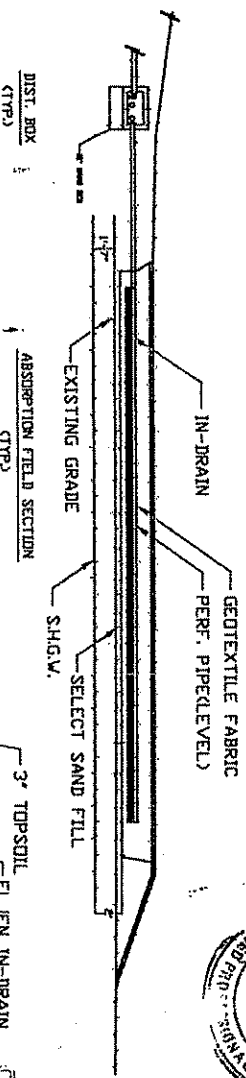
GENERAL NOTES:  
 1. PERC. RATE TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:  
 2. ALL TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:  
 3. ALL TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:  
 4. ALL TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:  
 5. ALL TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

SPECIAL NOTES:

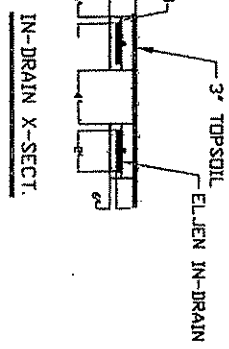
1. SELECT SAND TO BE HEAVY TO COARSE TEXTURE WITH AN EFFECTIVE SIZE OF 20 TO 60 AND GREATER THAN 50 PASSING A #20 SIEVE, AND NO PARTICLES LARGER THAN 3/4" IN DIA.
2. INSTALL 4" SCHED PIPE AT A MINIMUM 1/8" PER FOOT SLACK BETWEEN THE END OF THE IN-DRAIN AND THE GRAVEL TO PREVENT SETTLING AND EFFECTS OF FIRST HEAVY RAIN.
3. A ZONE ROPEL AROUND SEPTIC TANK FILTER OR BROWN, WILL BE USED.
4. THE ELJEN IN-DRAIN SYSTEM WILL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS.



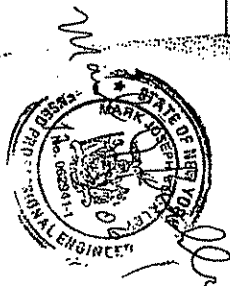
ABSORPTION FIELD PLAN VIEW  
(TYPE 2)



ABSORPTION FIELD SECTION  
(TYPE 2)



IN-DRAIN X-SECT.



RECEIVED  
 MAR 14 2007  
 ADDRESS: 200 PARK AGENCY

LEVIS HERSE PROJECT	DATE: 12-02-06	SCALE: NONE
CROSS ROAD		
WALLENBURG, NY		
SEPTIC SYSTEM		
ISSUED BY: MARK JOSEPH		



2/4/90

Building Permit Application

Town of Essex Building Codes

Permit No. A-698

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name: RYAN LARA Lewis Daytime Phone No. 518 763-4206

Street Address: WILLIAMSBAY Rd City: Essex State: N.Y. Zip Code: 12936

2. Applicant is (check one or more):  Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information: A. County: Essex B. City, Town, Village: Essex C. Tax Map No. (check with assessor): 49.3-2-27.000 D. Street Address or Directions: CROSS Rd  
Essex N.Y.  
12936

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed):  
A. Property Owner: RYAN LARA Lewis  
B. Architect or Engineer: DEMTEL  
C. General Contractor/Builder: M. McLenne  
LEWIS FAMILY FARM

5. Contractor Insurance: Workers' Compensation & Disability Benefits Secured by Contractor:  Yes  No Policy No. \_\_\_\_\_  
Wages To Be Paid: \_\_\_\_\_

6. Project Cost Estimate (see instructions): 335,000 Number Square Feet: 2350

7. Check All Items That Apply to the Named Projects:  
New House/Building:  Garage/Carport:  Addition:  Change of Use:   
Mobile Home:  Storage Shed:  Alterations:  Demolition:   
Manufactured Home:  Swimming Pool:  Relocation:  Solid Fuel:   
Masonry Chimney:  MFG Chimney:  Deck:  Other:   
Construction Class:  Type 1 Fire Resistive  Type 2 Noncombustible  Type 3 Heavy Timber  Type 4 Ordinary  Type 5 Wood Frame  Unknown  
Occupancy Use Classifications:  A1 One-Family Dwelling  A2 Two-Family Dwelling  B1 Multiple Dwelling Apartments  B2 Multiple Dwelling Hotel/Motel  B3 Multiple Dwelling Sr. Citizen  B4 Multiple Dwelling Adult Residential Care  C1 Business  C2 Mercantile  C3 Industrial  C4 Storage  C5 Assembly  C6 Institutional  C7 Miscellaneous

8. A. Is the site within a flood plain?  Yes  No  
B. Is the site in whole or in part a designated wetland?  Yes  No  
C. Is the site under APA jurisdiction?  Yes  No  
D. Is the site under local zoning jurisdiction?  Yes  No  
E. "X" all of the following that describe the provisions for water and sewer:  
 Public Water System  New Private Well  Prior Existing Private Well  
 Public Sewer System  New Septic System  Prior Existing Sewer System  
 Other

9. What will be the method of providing heat? Primary: OIL BOILER Secondary:  None

10. Plans are (see instructions):  Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No  
\* If yes, read instructions carefully and provide a description and explanation ->

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.  
Signature of Applicant/Authorized Agent: M. McLenne Date: 6-25-06

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side.  
Make check payable to Town of Essex Building Codes Department.  
Fee: 50.00 6212  Check  Money Order  Other

OFFICE USE ONLY

CO or CC Issued	Inspections									
	1	2	3	4	5	6	7	8	9	10
	Permit No. <u>A-698</u>									
	Approved <input checked="" type="checkbox"/> Disapproved <input type="checkbox"/>									
	Reviewed <input type="checkbox"/>									
	Date Received <u>6-25-07</u>									
	Date <u>6-25-07</u>									
	Special Conditions:									

## BUILDING PERMIT APPLICATION INSTRUCTIONS

This form applies within communities where the Town of Essex enforces the Uniform Fire Prevention and Building Code (Uniform Code). Consult your local government officials to see if a zoning or other special permit is also required. Application procedure regulations are contained in Part 442, Title 19 of the Official Compilation of Codes, Rules and Regulations of the State of New York (NYCRR); copies of which are available upon request. A permit will be issued when it is determined that the application is complete and the proposed work conforms to the requirements of the Uniform Code. The authority conferred with the permit may be limited by conditions. The Town of Essex must be notified of any changes to information contained in the application during the period for which the permit is in effect.

A BUILDING PERMIT IS REQUIRED BEFORE commencing construction or other improvement, removal or demolition of any building or structure (including auction barns, farm residences, and other such structures) except as noted below; and BEFORE the installation of heating equipment.

A BUILDING PERMIT IS NOT REQUIRED for necessary repairs which do NOT involve material alteration of structural features, plumbing, electrical, or heating/ventilation systems; for agricultural buildings such as dairy barns and poultry houses; erecting fences, constructing non-commercial storage facilities under 140 sq. ft.; and for replacing roofing or siding materials.

ITEM INSTRUCTIONS FOR THE APPLICATION: (Items not listed are self explanatory. For further assistance, contact the Building Fire Code Department listed below.)

3C. The tax map or property ID number can be obtained from the local assessor, by consulting the appropriate tax map, or through your county real property tax office. A Certificate of Occupancy will not be issued without this number.

5. Workers' compensation and disability benefits are necessary if wages are to be paid to anyone working on the project.

6. Project cost includes the material and labor costs associated with the project work. Not included are architect, attorney, engineer, or other fees and land acquisition costs. If the project involves the installation of a mobile or factory manufactured home, do not include the purchase price of the unit. Project cost does include direct costs for wells, septic systems, electrical hook-ups, foundation systems, etc.

7. If unsure of class, check off UNKNOWN or refer to Part 701, 19 NYCRR. Most new single family homes are wood frame (Type 5).

8. Your Town Clerk may be able to help you determine if the project site is in a flood plain or is designated as a wetland. If not, or under APA jurisdiction, contact the nearest NYS Department of Environmental Conservation.

9. Enter Oil Hot Air, Oil Hot Water, Electrical Baseboard, Wood, etc., as appropriate.

10. Plans and specifications describing the proposed work are to be submitted with the application, in accordance with the State Education Law, Sections 7307 and 7209. The original seal and signature of a licensed and registered architect or professional engineer must be affixed to ALL plans submitted; except residential buildings under 1,500 sq. ft. of living area, OR for alterations costing under \$10,000. Plans should include site work and landscaping, elevations, sections, dimensions, and schedules.

11. Undertaking activity that requires a building permit prior to obtaining such a permit is prohibited. In considering what action, if any, to take in specific cases, the Department will evaluate violations based on prior experience with the applicant and other relevant factors.

12. APPLICATION FEE: The appropriate application fee in the form of a check, money order, or government voucher made payable to The Town of Essex Building Code Department is required as indicated on the fee schedule attached.

NOTHING contained in this permit shall be construed to satisfy any legal obligation of the applicant to obtain any governmental application or permit from any entity other than The Town of Essex whether Federal, State, Regional, or Local.

SEND THIS COMPLETED APPLICATION to the Town of Essex Building Code Department, Main Street, Essex, NY 12936

*Town of Essex Building Codes Department*  
Town of Essex  
Main Street  
Essex, NY 12936

1/24/90

Building Permit Application

Town of Essex Building Codes

Permit No.

A-701

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name Barbara Lewis Daytime Phone No. 98 963-4206

Street Address Whallons Bay rd City Essex State MA Zip Code 12936

2. Applicant is (check one or more):  Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information: A. County Essex B. City, Town, Village Essex C. Tax Map No. (check with assessor) 49.3-2-27.000 D. Street Address or Directions Whallons Bay rd 5 Cottage

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed): A. Property Owner Barbara Lewis B. Architect or Engineer DEMTEC C. General Contractor/Builder M. McKeown

5. Contractor Insurance Workers' Compensation & Disability Benefits Secured by Contractor Wages To Be Paid  Yes  No Policy No.

6. Project Cost (Estimate) (see instructions) 350,000 Number Square Feet 2,350

7. Check All Items That Apply to the Named Projects:  New House/Building  Garage/Carport  Addition  Change of Use  Mobile Home  Storage Shed  Alterations  Demolition  Manufactured Home  Swimming Pool  Relocation  Solid Fuel  Masonry Chimney  MFG Chimney  Deck  Other Construction Class  Type 1 Fire Resistive  Type 3 Heavy Timber  Type 5 Wood Frame  Type 2 Noncombustible  Type 4 Ordinary  Unknown

Occupancy Use Classifications  A1 One-Family Dwelling  C1 Business  A2 Two-Family Dwelling  C2 Mercantile  B1 Multiple Dwelling Apartments  C3 Industrial  B2 Multiple Dwelling Hotel/Motel  C4 Storage  B3 Multiple Dwelling Sr. Citizen  C5 Assembly  B4 Multiple Dwelling Adult Residential Care  C6 Institutional  C7 Miscellaneous

8. A. Is the site within a flood plain?  Yes  No B. Is the site in whole or in part a designated wetland  Yes  No C. Is the site under APA jurisdiction?  Yes  No D. Is the site under local zoning jurisdiction?  Yes  No E. 'X' all of the following that describe the provisions for water and sewer:  Public Water System  New Private Well  Prior Existing Private Well  Public Sewer System  New Septic System  Prior Existing Sewer System  Other

9. What will be the method of providing heat? Primary: Oil Boiler Secondary: None

10. Plans are (see instructions):  Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No \* If yes, read instructions carefully and provide a description and explanation ->

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction. Signature of Applicant/Authorized Agent M. McKeown Date 6-25-07

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side. Make check payable to Town of Essex Building Codes Department.

Table with columns: Date Received, Reviewed, Approved/Disapproved, Permit No., Inspections (1-10), CO or CC Issued. Includes handwritten permit number A-701 and date 6-25-07.

Special Conditions:

## BUILDING PERMIT APPLICATION INSTRUCTIONS

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**A BUILDING PERMIT IS REQUIRED BEFORE** commencing construction or other improvement, removal or demolition of any building or structure (including auction barns, farm residences, and other such structures) except as noted below; and **BEFORE** the installation of heating equipment.

**A BUILDING PERMIT IS NOT REQUIRED** for necessary repairs which do NOT involve material alteration of structural features, plumbing, electrical, or heating/ventilation systems; for agricultural buildings such as dairy barns and poultry houses; erecting fences, constructing non-commercial storage facilities under 140 sq. ft.; and for replacing roofing or siding materials.

**ITEM INSTRUCTIONS FOR THE APPLICATION:** (Items not listed are self explanatory. For further assistance, contact the Building Fire Code Department listed below.)

3C. The tax map or property ID number can be obtained from the local assessor, by consulting the appropriate tax map, or through your county real property tax office. A Certificate of Occupancy will not be issued without this number.

5. Workers' compensation and disability benefits are necessary if wages are to be paid to anyone working on the project.

6. Project cost includes the material and labor costs associated with the project work. Not included are architect, attorney, engineer, or other fees and land acquisition costs. If the project involves the installation of a mobile or factory manufactured home, do not include the purchase price of the unit. Project cost does include direct costs for wells, septic systems, electrical hook-ups, foundation systems, etc.

7. If unsure of class, check off UNKNOWN or refer to Part 701, 19 NYCRR. Most new single family homes are wood frame (Type 5).

8. Your Town Clerk may be able to help you determine if the project site is in a flood plain or is designated as a wetland. If not, or under APA jurisdiction, contact the nearest NYS Department of Environmental Conservation.

9. Enter Oil Hot Air, Oil Hot Water, Electrical Baseboard, Wood, etc., as appropriate.

10. Plans and specifications describing the proposed work are to be submitted with the application, in accordance with the State Education Law, Sections 7307 and 7209. The original seal and signature of a licensed and registered architect or professional engineer must be affixed to ALL plans submitted; except residential buildings under 1,500 sq. ft. of living area, OR for alterations costing under \$10,000. Plans should include site work and landscaping, elevations, sections, dimensions, and schedules.

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12. **APPLICATION FEE:** The appropriate application fee in the form of a check, money order, or government voucher made payable to The Town of Essex Building Code Department is required as indicated on the fee schedule attached.

**NOTHING** contained in this permit shall be construed to satisfy any legal obligation of the applicant to obtain any governmental application or permit from any entity other than The Town of Essex whether Federal, State, Regional, or Local.

**SEND THIS COMPLETED APPLICATION** to the Town of Essex Building Code Department, Main Street, Essex, NY 12936

*Town of Essex Building Codes Department*  
Town of Essex  
Main Street  
Essex, NY 12936

1/24/90

Building Permit Application

Town of Essex Building Codes

Permit No.

A-700

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name BARBARA LEWIS Daytime Phone No. 688-963-7153

Street Address WHALLOWS BAY RD. City ESSEX State MA Zip Code 012936

2. Applicant is (check one or more):  Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information: A. County ESSEX B. City, Town, Village ESSEX C. Tax Map No. (check with assessor) 49.3-2-27000 D. Street Address or Directions WHALLOWS BAY RD. N Cottage

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed): A. Property Owner BARBARA LEWIS B. Architect or Engineer DEMTEC C. General Contractor/Builder M. McNamee

5. Contractor Insurance Workers' Compensation & Disability Benefits Secured by Contractor Wages To Be Paid  Yes  No Policy No.

6. Project Cost (Estimate) (see instructions) 320,000 Number Square Feet 2,350

7. Check All Items That Apply to the Named Projects:  New House/Building  Garage/Carport  Addition  Change of Use  Mobile Home  Storage Shed  Alterations  Demolition  Manufactured Home  Swimming Pool  Relocation  Solid Fuel  Masonry Chimney  MFG Chimney  Deck  Other Construction Class  Type 1 Fire Resistive  Type 3 Heavy Timber  Type 5 Wood Frame  Type 2 Noncombustible  Type 4 Ordinary  Unknown

Occupancy Use Classifications  A1 One-Family Dwelling  C1 Business  C2 Mercantile  C3 Industrial  C4 Storage  C5 Assembly  C6 Institutional  C7 Miscellaneous  A2 Two-Family Dwelling  B1 Multiple Dwelling Apartments  B2 Multiple Dwelling Hotel/Motel  B3 Multiple Dwelling Sr. Citizen  B4 Multiple Dwelling Adult Residential Care

8. A. Is the site within a flood plain?  Yes  No B. Is the site in whole or in part a designated wetland  Yes  No C. Is the site under APA jurisdiction?  Yes  No D. Is the site under local zoning jurisdiction?  Yes  No E. "X" all of the following that describe the provisions for water and sewer:  Public Water System  New Private Well  Prior Existing Private Well  Public Sewer System  New Septic System  Prior Existing Sewer System  Other

9. What will be the method of providing heat? Primary: OIL BURNER Secondary: None

10. Plans are (see instructions):  Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No \* If yes, read instructions carefully and provide a description and explanation ->

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature of Applicant/Authorized Agent M. McNamee Date 6-25-07

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side. Make check payable to Town of Essex Building Codes Department.

OFFICE USE ONLY

Date Received	Reviewed	Approved / Disapproved	Permit No.	CO or CC Issued															
				1	2	3	4	5	6	7	8	9	10						
6-25-07	6-25-07	<input checked="" type="checkbox"/>	A-700																

Special Conditions:

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7. If unsure of class, check off UNKNOWN or refer to Part 701, 19 NYCRR. Most new single family homes are wood frame (Type 5).

8. Your Town Clerk may be able to help you determine if the project site is in a flood plain or is designated as a wetland. If not, or under APA jurisdiction, contact the nearest NYS Department of Environmental Conservation.

9. Enter Oil Hot Air, Oil Hot Water, Electrical Baseboard, Wood, etc., as appropriate.

10. Plans and specifications describing the proposed work are to be submitted with the application, in accordance with the State Education Law, Sections 7307 and 7209. The original seal and signature of a licensed and registered architect or professional engineer must be affixed to ALL plans submitted; except residential buildings under 1,500 sq. ft. of living area, OR for alterations costing under \$10,000. Plans should include site work and landscaping, elevations, sections, dimensions, and schedules.

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**SEND THIS COMPLETED APPLICATION** to the Town of Essex Building Code Department, Main Street, Essex, NY 12936

*Town of Essex Building Codes Department*  
Town of Essex  
Main Street  
Essex, NY 12936

1/24/90

Building Permit Application

Town of Essex Building Codes

Permit No.

A-699

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name BARBARA Lewis Daytime Phone No. ( )

Street Address WINDLOWS BAY RD City ESSEX State NY Zip Code 12936

2. Applicant is (check one or more):  Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information: A. County ESSEX B. City, Town, Village ESSEX C. Tax Map No. (check with assessor) 49.3-2-27.000 D. Street Address or Directions WINDLOWS BAY RD, Residence 1

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed):

A. Property Owner	B. Architect or Engineer	C. General Contractor/Builder
<u>BARBARA Lewis</u>	<u>DEHTEC</u>	<u>MUMMEY</u>
<u>LEWIS FAMILY FARM</u>		

5. Contractor Insurance: Workers' Compensation & Disability Benefits Secured by Contractor  Wages To Be Paid  Yes  No Policy No.

6. Project Cost (Estimate) (see instructions) 315,000. Number Square Feet 2,550

7. Check All Items That Apply to the Named Projects:  New House/Building  Garage/Carport  Addition  Change of Use  Mobile Home  Storage Shed  Alterations  Demolition  Manufactured Home  Swimming Pool  Relocation  Solid Fuel  Masonry Chimney  MFG Chimney  Deck  Other  
Construction Class:  Type 1 Fire Resistive  Type 3 Heavy Timber  Type 5 Wood Frame  Type 2 Noncombustible  Type 4 Ordinary  Unknown

Occupancy Use Classifications:  A1 One-Family Dwelling  A2 Two-Family Dwelling  B1 Multiple Dwelling Apartments  B2 Multiple Dwelling Hotel/Motel  B3 Multiple Dwelling Sr. Citizen  B4 Multiple Dwelling Adult Residential Care  C1 Business  C2 Mercantile  C3 Industrial  C4 Storage  C5 Assembly  C6 Institutional  C7 Miscellaneous

8. A. Is the site within a flood plain?  Yes  No  
B. Is the site in whole or in part a designated wetland?  Yes  No  
C. Is the site under APA jurisdiction?  Yes  No  
D. Is the site under local zoning jurisdiction?  Yes  No  
E. "X" all of the following that describe the provisions for water and sewer:  
 Public Water System  New Private Well  Prior Existing Private Well  
 Public Sewer System  New Septic System  Prior Existing Sewer System  
 Other

9. What will be the method of providing heat? Primary: Oil Boiler Secondary:  None

10. Plans are (see instructions):  Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No  
\* If yes, read instructions carefully and provide a description and explanation ->

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature of Applicant/Authorized Agent M. Mumme Date 6-25-07

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side. Make check payable to Town of Essex Building Codes Department.

Date Received	Reviewed	Approved / Disapproved	Permit No.	Inspections																
				1	2	3	4	5	6	7	8	9	10							
<u>6-25-07</u>	<u>6-25-07</u>	<input checked="" type="checkbox"/>	<u>A-699</u>																	

OFFICE USE ONLY

Special Conditions:

## BUILDING PERMIT APPLICATION INSTRUCTIONS

This form applies within communities where the Town of Essex enforces the Uniform Fire Prevention and Building Code (Uniform Code). Consult your local government officials to see if a zoning or other special permit is also required. Application procedure regulations are contained in Part 442, Title 19 of the Official Compilation of Codes, Rules and Regulations of the State of New York (NYCRR); copies of which are available upon request. A permit will be issued when it is determined that the application is complete and the proposed work conforms to the requirements of the Uniform Code. The authority conferred with the permit may be limited by conditions. The Town of Essex must be notified of any changes to information contained in the application during the period for which the permit is in effect.

**A BUILDING PERMIT IS REQUIRED BEFORE** commencing construction or other improvement, removal or demolition of any building or structure (including auction barns, farm residences, and other such structures) except as noted below; and **BEFORE** the installation of heating equipment.

**A BUILDING PERMIT IS NOT REQUIRED** for necessary repairs which do NOT involve material alteration of structural features, plumbing, electrical, or heating/ventilation systems; for agricultural buildings such as dairy barns and poultry houses; erecting fences, constructing non-commercial storage facilities under 140 sq. ft.; and for replacing roofing or siding materials.

**ITEM INSTRUCTIONS FOR THE APPLICATION:** (Items not listed are self explanatory. For further assistance, contact the Building Fire Code Department listed below.)

3C. The tax map or property ID number can be obtained from the local assessor, by consulting the appropriate tax map, or through your county real property tax office. A Certificate of Occupancy will not be issued without this number.

5. Workers' compensation and disability benefits are necessary if wages are to be paid to anyone working on the project.

6. Project cost includes the material and labor costs associated with the project work. Not included are architect, attorney, engineer, or other fees and land acquisition costs. If the project involves the installation of a mobile or factory manufactured home, do not include the purchase price of the unit. Project cost does include direct costs for wells, septic systems, electrical hook-ups, foundation systems, etc.

7. If unsure of class, check off UNKNOWN or refer to Part 701, 19 NYCRR. Most new single family homes are wood frame (Type 5).

8. Your Town Clerk may be able to help you determine if the project site is in a flood plain or is designated as a wetland. If not, or under APA jurisdiction, contact the nearest NYS Department of Environmental Conservation.

9. Enter Oil Hot Air, Oil Hot Water, Electrical Baseboard, Wood, etc., as appropriate.

10. Plans and specifications describing the proposed work are to be submitted with the application, in accordance with the State Education Law, Sections 7307 and 7209. The original seal and signature of a licensed and registered architect or professional engineer must be affixed to ALL plans submitted; except residential buildings under 1,500 sq. ft. of living area, OR for alterations costing under \$10,000. Plans should include site work and landscaping, elevations, sections, dimensions, and schedules.

11. Undertaking activity that requires a building permit prior to obtaining such a permit is prohibited. In considering what action, if any, to take in specific cases, the Department will evaluate violations based on prior experience with the applicant and other relevant factors.

12. **APPLICATION FEE:** The appropriate application fee in the form of a check, money order, or government voucher made payable to The Town of Essex Building Code Department is required as indicated on the fee schedule attached.

**NOTHING** contained in this permit shall be construed to satisfy any legal obligation of the applicant to obtain any governmental application or permit from any entity other than The Town of Essex whether Federal, State, Regional, or Local.

**SEND THIS COMPLETED APPLICATION** to the Town of Essex Building Code Department, Main Street, Essex, NY 12936

*Town of Essex Building Codes Department*  
Town of Essex  
Main Street  
Essex, NY 12936



**APPLICATION FOR A PROJECT PERMIT  
TOWN OF ESSEX, NEW YORK**

Tax Map Parcel Number: 49.3-2-27.000

11-12-06  
Application Date

11-14-06  
Date Recorded

2-263  
Application #

Barbara Lewis  
Applicant's Name

Whallons Bay rd.  
Address

Essex N.Y. 12936 963-4206  
Town State Zip Telephone Number

The applicant hereby states that he or she is the owner or authorized agent for which the foregoing work is proposed to be performed, and that he or she is duly authorized to execute such work, and that all work will be performed in accordance with all existing State laws and the Zoning Law in effect in the Town of Essex.

Barbara Lewis mm  
Applicant's Signature

11-12-06  
Date

Application is hereby made to:

For the purpose of:

- use
- erect
- repair
- alter
- extend
- remove
- demolish
- occupy
- other \_\_\_\_\_

- residence 3
- commercial business
- industry
- accessory structure
- agricultural use
- forestry use
- mobile home
- public use
- resource extraction
- Other \_\_\_\_\_

Zoning District:

- Essex Hamlet
- Whallonsburgh Hamlet
- Agricultural District
- Forest/Recreation

- Residential I
- Residential II
- Historic Overlay
- Shoreline Overlay

On a separate sheet, describe the project in detail.

This application shall be accompanied by a drawing to scale, showing, but not limited to the following:  
(see reverse side of form)

1. Lot size
2. Existing Property Lines
3. Proposed Structure
4. Parking and driveways
5. Abutting street width
6. Rear Yard set back
7. Front Yard set back
8. Side Yard set back

9. Water System
10. Septic and sewage system
11. Abutters
12. Height: Stories \_\_\_\_\_ Feet \_\_\_\_\_
13. Number of family units
14. Construction type
15. Other \_\_\_\_\_

Date of Action:

Application Received

11-14-06

Supplemental Material Received

\_\_\_\_\_

Fee Paid, Amount: \$ 20.00

\_\_\_\_\_

Application Referred to Planning Board

\_\_\_\_\_

Application Approved by Planning Board

\_\_\_\_\_

Zoning Permit:  Issued ( ) Denied

11-14-06

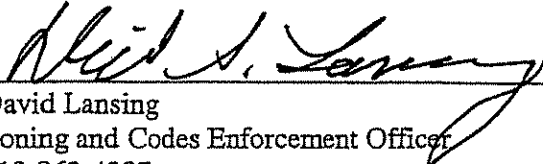
Reasons for denial: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

  
 David Lansing  
 Zoning and Codes Enforcement Officer  
 518-963-4287

11-14-06  
 Date

APPLICATION FOR A PROJECT PERMIT  
TOWN OF ESSEX, NEW YORK

Tax Map Parcel Number: 49.3-2-27.00

11-30-06  
Application Date

11-30-06  
Date Recorded

2-264  
Application #

LEWIS FAMILY FARM  
Applicant's Name

1058 WHALLONS BAY RD  
Address

ESSEX  
Town

N.Y.  
State

12936  
Zip

\_\_\_\_\_  
Telephone Number

The applicant hereby states that he or she is the owner or authorized agent for which the foregoing work is proposed to be performed, and that he or she is duly authorized to execute such work, and that all work will be performed in accordance with all existing State laws and the Zoning Law in effect in the Town of Essex.

BALBINA Lewis M.W.  
Applicant's Signature

11-30-06  
Date

Application is hereby made to:

For the purpose of:

- use
- erect
- repair
- alter
- extend
- remove
- demolish
- occupy
- other \_\_\_\_\_

- residence (1)
- commercial business
- industry
- accessory structure
- agricultural use
- forestry use
- mobile home
- public use
- resource extraction
- Other FARM HELP  
RESIDENCE

Zoning District:

- Essex Hamlet
- Whallonsburgh Hamlet
- Agricultural District
- Forest/Recreation

- Residential I
- Residential II
- Historic Overlay
- Shoreline Overlay

On a separate sheet, describe the project in detail.

This application shall be accompanied by a drawing to scale, showing, but not limited to the following:  
(see reverse side of form)

1. Lot size
2. Existing Property Lines
3. Proposed Structure
4. Parking and driveways
5. Abutting street width
6. Rear Yard set back
7. Front Yard set back
8. Side Yard set back

9. Water System
10. Septic and sewage system
11. Abutters
12. Height: Stóries \_\_\_\_\_ Feet \_\_\_\_\_
13. Number of family units
14. Construction type
15. Other \_\_\_\_\_

SEE ATTACHED DWGS

Date of Action: \_\_\_\_\_

Application Received

11-30-06

Supplemental Material Received

\_\_\_\_\_

Fee Paid, Amount: \$ 20.00

\$ 20.00

Application Referred to Planning Board

NO

Application Approved by Planning Board

N/A

Zoning Permit:  Issued ( ) Denied

11-30-06

Reasons for denial: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

David Lansing  
 David Lansing  
 Zoning and Codes Enforcement Officer  
 518-963-4287

11-30-06  
 Date

MARCO

1/24/90

Building Permit Application

Town of Essex Building Codes

Permit No.

A-714

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name LEWIS FAMILY FARM Daytime Phone No. ( )

Street Address 52 CANTON RD City ESSEX State NY Zip Code

2. Applicant is (check one or more):  Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information: A. County ESSEX B. City, Town, Village ESSEX C. Tax Map No. (check with assessor) 49.3-2-27.000 D. Street Address or Directions

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed): A. Property Owner SAME AS ABOVE B. Architect or Engineer MAMBUCKLESH C. General Contractor/Builder BENKING ZEBRA TRSA

5. Contractor Insurance: Workers' Compensation & Disability Benefits Secured by Contractor Wages To Be Paid  Yes  No Policy No.

6. Project Cost Estimate (see instructions) Number Square Feet

7. Check All Items That Apply to the Named Projects:  New House/Building  Garage/Carport  Addition  Change of Use  Mobile Home  Storage Shed  Alterations  Demolition  Manufactured Home  Swimming Pool  Relocation  Solid Fuel  Masonry Chimney  MFG Chimney  Deck  Other SEPTIC Construction Class:  Type 1 Fire Resistant  Type 3 Heavy Timber  Type 5 Wood Frame  Type 2 Noncombustible  Type 4 Ordinary  Unknown Occupancy Use Classifications:  A1 One-Family Dwelling  C1 Business  A2 Two-Family Dwelling  C2 Mercantile  B1 Multiple Dwelling Apartments  C3 Industrial  B2 Multiple Dwelling Hotel/Motel  C4 Storage  B3 Multiple Dwelling Sr. Citizen  C5 Assembly  B4 Multiple Dwelling Adult Residential Care  C6 Institutional  C7 Miscellaneous

8. A. Is the site within a flood plain?  Yes  No B. Is the site in whole or in part a designated wetland?  Yes  No C. Is the site under APA jurisdiction?  Yes  No D. Is the site under local zoning jurisdiction?  Yes  No E. 'X' all of the following that describe the provisions for water and sewer:  Public Water System  New Private Well  Prior Existing Private Well  Public Sewer System  New Septic System  Prior Existing Sewer System  Other

9. What will be the method of providing heat? Primary: Secondary:  None

10. Plans are (see instructions):  Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No \* If yes, read instructions carefully and provide a description and explanation ->

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature of Applicant/Authorized Agent [Signature] Date 9-20-07

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side. Make check payable to Town of Essex Building Codes Department

OFFICE USE ONLY table with columns: Date Received, Reviewed, Approved/Disapproved, Permit No., Inspections (1-10), CO or CC Issued. Includes handwritten dates 9-19-07 and permit number A-714.

Special Conditions:

1/24/90

NO LMA SOUTH CO II

Building Permit Application

Town of Essex Building Codes

Permit No.

A-715

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name LEWIS FAMILY FARM Daytime Phone No. ( )

Street Address 52 CHRISTIARD ROAD Essex MA Zip Code

2. Applicant is (check one or more):  
 Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information:  
A. County ESSEX  
B. City, Town, Village ESSEX  
C. Tax Map No. (check with assessor) 49.3-2-27.007  
D. Street Address or Directions

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed):  
A. Property Owner SAMIE AS ABONK  
B. Architect or Engineer MARK BUCKLEY  
C. General Contractor/Builder BENJAMIN ZEBRA TECH

5. Contractor Insurance  
Workers' Compensation & Disability Benefits Secured by Contractor  
Wages To Be Paid  Yes  No Policy No.

6. Project Cost Estimate (see instructions) Number Square Feet

7. Check All Items That Apply to the Named Project:  
 New House/Building  Garage/Carport  Addition  Change of Use  
 Mobile Home  Storage Shed  Alterations  Demolition  
 Manufactured Home  Swimming Pool  Relocation  Solid Fuel  
 Masonry Chimney  MFG Chimney  Deck  Other SEPTIC  
Construction Class  
 Type 1 Fire Resistive  Type 3 Heavy Timber  Type 5 Wood Frame  
 Type 2 Noncombustible  Type 4 Ordinary  Unknown  
Occupancy Use Classifications  
 A1 One-Family Dwelling  C1 Business  
 A2 Two-Family Dwelling  C2 Mercantile  
 B1 Multiple Dwelling Apartments  C3 Industrial  
 B2 Multiple Dwelling Hotel/Motel  C4 Storage  
 B3 Multiple Dwelling Sr. Citizen  C5 Assembly  
 B4 Multiple Dwelling Adult Residential Care  C6 Institutional  
 C7 Miscellaneous

8. A. Is the site within a flood plain?  Yes  No  
B. Is the site in whole or in part a designated wetland?  Yes  No  
C. Is the site under APA jurisdiction?  Yes  No  
D. Is the site under local zoning jurisdiction?  Yes  No  
E. "X" all of the following that describe the provisions for water and sewer:  
 Public Water System  New Private Well  Prior Existing Private Well  
 Public Sewer System  New Septic System  Prior Existing Sewer System  
 Other

9. What will be the method of providing heat?  
Primary: Secondary: Nons

10. Plans are (see instructions):  
 Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No  
\* If yes, read instructions carefully and provide a description and explanation ->

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature of Applicant/Authorized Agent MUMMA Date 9-20-07

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side. Make check payable to Town of Essex Building Codes Department.

OFFICE USE ONLY

Date Received	Reviewed	Approved Disapproved	Permit No.	CO or CC Issued			
					9-19-07	9-19-07	A-715

Special Conditions:

1/24/90

RESIDENCE

Building Permit Application

Town of Essex Building Codes

Permit No.

A-716

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name BEWIS FAMILY FARM Daytime Phone No. ( )

Street Address 52 CHRISTIAN RD ESSEX NY City ESSEX State NY Zip Code 12926

2. Applicant is (check one or more):  
 Property Owner  General Contractor  Other (Specify) \_\_\_\_\_

3. Provide Project Location Information:  
 A. County ESSEX  
 B. City, Town, Village ESSEX  
 C. Tax Map No. (check with assessor) 49.3-2-27.020  
 D. Street Address or Directions \_\_\_\_\_

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed):

A. Property Owner	B. Architect or Engineer	C. General Contractor/Builder
<u>SAMIRAS</u>	<u>MARK BUCKLEY</u>	<u>BEWIS</u>
<u>ABOUB</u>		<u>ZEBRA TRON</u>

5. Contractor Insurance  
 Workers' Compensation & Disability Benefits Secured by Contractor  
 Wages To Be Paid  Yes  No Policy No. \_\_\_\_\_

6. Project Cost Estimate (see instructions) \_\_\_\_\_ Number Square Feet \_\_\_\_\_

7. Check All Items That Apply to the Named Projects:

<input type="checkbox"/> New House/Building	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Addition	<input type="checkbox"/> Change of Use
<input type="checkbox"/> Mobile Home	<input type="checkbox"/> Storage Shed	<input type="checkbox"/> Alterations	<input type="checkbox"/> Demolition
<input type="checkbox"/> Manufactured Home	<input type="checkbox"/> Swimming Pool	<input type="checkbox"/> Relocation	<input type="checkbox"/> Solid Fuel
<input type="checkbox"/> Masonry Chimney	<input type="checkbox"/> MFG Chimney	<input type="checkbox"/> Deck	<input type="checkbox"/> Other <u>SEPTIC</u>

Construction Class  
 Type 1 Fire Resistive  Type 3 Heavy Timber  Type 5 Wood Frame  
 Type 2 Noncombustible  Type 4 Ordinary  Unknown

Occupancy Use Classifications

<input checked="" type="checkbox"/> A1 One-Family Dwelling	<input type="checkbox"/> C1 Business
<input type="checkbox"/> A2 Two-Family Dwelling	<input type="checkbox"/> C2 Mercantile
<input type="checkbox"/> B1 Multiple Dwelling Apartments	<input type="checkbox"/> C3 Industrial
<input type="checkbox"/> B2 Multiple Dwelling Hotel/Motel	<input type="checkbox"/> C4 Storage
<input type="checkbox"/> B3 Multiple Dwelling Sr. Citizen	<input type="checkbox"/> C5 Assembly
<input type="checkbox"/> B4 Multiple Dwelling Adult Residential Care	<input type="checkbox"/> C6 Institutional
	<input type="checkbox"/> C7 Miscellaneous

8. A. Is the site within a flood plain?  Yes  No  
 B. Is the site in whole or in part a designated wetland?  Yes  No  
 C. Is the site under APA jurisdiction?  Yes  No  
 D. Is the site under local zoning jurisdiction?  Yes  No  
 E. "X" all of the following that describe the provisions for water and sewer:  
 Public Water System  New Private Well  Prior Existing Private Well  
 Public Sewer System  New Septic System  Prior Existing Sewer System  
 Other \_\_\_\_\_

9. What will be the method of providing heat?  
 Primary: \_\_\_\_\_ Secondary: \_\_\_\_\_ None

10. Plans are (see instructions):  
 Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No  
 \* If yes, read instructions carefully and provide a description and explanation ->

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature of Applicant/Authorized Agent Mark M Date 9-20-07

OFFICE USE ONLY	Inspections	CO or CC Issued	
		Permit No.	A-716
		Approved	<input checked="" type="checkbox"/>
		Disapproved	<input type="checkbox"/>
		Reviewed	9-19-07 9-19-07
		Date Received	9-19-07 9-19-07
		1	
		2	
		3	
		4	
5			
6			
7			
8			
9			
10			

Special Conditions:

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side. Make check payable to Town of Essex Building Codes Department.

**RESIDENCE**

1/24/90

Building Permit Application

Town of Essex Building Codes

Permit No. **A-662**

**READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION**

1. Applicant's Name LEWIS FAMILY FARM Daytime Phone No. ( )

Street Address 1058 W HOLLOWAY City ESSEX State N.Y. Zip Code 12936

2. Applicant is (check one or more):  
 Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information:  
 A. County ESSEX  
 B. City, Town, Village ESSEX  
 C. Tax Map No. (check with assessor) 49.3-2-27.000  
 D. Street Address or Directions

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed):

A. Property Owner	B. Architect or Engineer	C. General Contractor/Builder
<u>LEWIS FARM (MRLCO)</u>		

5. Contractor Insurance  
 Workers' Compensation & Disability Benefits Secured by Contractor  
 Wages To Be Paid  Yes  No Policy No.

6. Project Cost Estimate (see instructions) \_\_\_\_\_ Number Square Feet \_\_\_\_\_

7. Check All Items That Apply to the Named Projects:

<input type="checkbox"/> New House/Building	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Addition	<input type="checkbox"/> Change of Use
<input type="checkbox"/> Mobile Home	<input type="checkbox"/> Storage Shed	<input type="checkbox"/> Alterations	<input type="checkbox"/> Demolition
<input type="checkbox"/> Manufactured Home	<input type="checkbox"/> Swimming Pool	<input type="checkbox"/> Relocation	<input type="checkbox"/> Solid Fuel
<input type="checkbox"/> Masonry Chimney	<input type="checkbox"/> MFG Chimney	<input type="checkbox"/> Deck	<input checked="" type="checkbox"/> Other <b>FOUNDATION</b>

Construction Class  
 Type 1 Fire Resistant  Type 3 Heavy Timber  
 Type 2 Noncombustible  Type 4 Ordinary  Type 5 Wood Frame  
 Unknown

Occupancy Use Classifications  
 A1 One-Family Dwelling  C1 Business  
 A2 Two-Family Dwelling  C2 Mercantile  
 B1 Multiple Dwelling Apartments  C3 Industrial  
 B2 Multiple Dwelling Hotel/Motel  C4 Storage  
 B3 Multiple Dwelling Sr. Citizen  C5 Assembly  
 B4 Multiple Dwelling Adult Residential Care  C6 Institutional  
 C7 Miscellaneous

8. A. Is the site within a flood plain? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 B. Is the site in whole or in part a designated wetland? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 C. Is the site under APA jurisdiction? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 D. Is the site under local zoning jurisdiction? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 E. "X" all of the following that describe the provisions for water and sewer:  
 Public Water System  New Private Well  Prior Existing Private Well  
 Public Sewer System  New Septic System  Prior Existing Sewer System  
 Other

9. What will be the method of providing heat?  
 Primary: \_\_\_\_\_ Secondary: \_\_\_\_\_ None

10. Plans are (see instructions):  
 Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No  
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Signature of Applicant/Authorized Agent \_\_\_\_\_ Date NOV. 30, 06

**OFFICE USE ONLY**

Date Received	Reviewed	Approved / Disapproved	Permit No.	Inspections										CO or CC Issued			
				1	2	3	4	5	6	7	8	9	10				
<u>11-30-06</u>	<u>11-30-06</u>	<u>11-30-06</u>	<u>A-662</u>														

Special Conditions:

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side. Make check payable to Town of Essex Building Codes Department.



MARCO

1/24/90

Building Permit Application

Town of Essex Building Codes

Permit No.

A-662

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name: LEWIS FAMILY FARM Daytime Phone No. ( )

Street Address: 1058 W HOLLOWAY City: ESSEX State: N.Y. Zip Code: 12936

2. Applicant is (check one or more): Property Owner General Contractor Other (Specify)

3. Provide Project Location Information: A. County: ESSEX B. City, Town, Village: ESSEX C. Tax Map No. (check with assessor): 49.3-2-27.020 D. Street Address or Directions

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed): A. Property Owner: LEWIS FARM B. Architect or Engineer C. General Contractor/Builder

5. Contractor Insurance: Workers' Compensation & Disability Benefits Secured by Contractor Wages To Be Paid Yes No Policy No.

6. Project Cost Estimate (see instructions) Number Square Feet:

7. Check All Items That Apply to the Named Projects: New House/Building, Mobile Home, Manufactured Home, Masonry Chimney, Garage/Carport, Storage Shed, Swimming Pool, MFG Chimney, Deck, Addition, Alterations, Relocation, Other, Change of Use, Demolition, Solid Fuel, Type 1 Fire Retardative, Type 2 Noncombustible, Type 4 Ordinary, Type 5 Wood Frame, Unknown, Construction Class, Occupancy Use Classifications: A1 One-Family Dwelling, A2 Two-Family Dwelling, B1 Multiple Dwelling Apartments, B2 Multiple Dwelling Hotel/Motel, B3 Multiple Dwelling Sr. Citizen, B4 Multiple Dwelling Adult Residential Care, C1 Business, C2 Mercantile, C3 Industrial, C4 Storage, C5 Assembly, C6 Institutional, C7 Miscellaneous

8. A. Is the site within a flood plain? B. Is the site in whole or in part a designated wetland? C. Is the site under APA jurisdiction? D. Is the site under local zoning jurisdiction? E. "X" all of the following that describe the provisions for water and sewer: Public Water System, Public Sewer System, New Private Well, New Septic System, Prior Existing Private Well, Prior Existing Sewer System

9. What will be the method of providing heat? Primary: Secondary: None

10. Plans are (see instructions): Enclosed/Attached Shipped Separately Not Supplied

11. Has any work covered by this application been started or completed? Yes No

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature of Applicant/Authorized Agent: [Signature] Date: 1/20/06

Consult instructions on attached sheet about appropriate fees. Mailing instructions are on reverse side.

Handwritten vertical text on the left margin, possibly a name or address.

Table with columns: Date Received, Reviewed, Approved/Disapproved, Permit No., Inspections (1-10), CO or CC Issued. Includes handwritten permit number A-662 and date 11-30-06.

Special Conditions:

# NORTH COTTAGE

1/24/90

Building Permit Application

Town of Essex Building Codes

Permit No. A-662

**READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION**

1. Applicant's Name LEWIS FAMILY FARM Daytime Phone No. ( )

Street Address 1058 WHALLOWAY City ESSEX State N.Y. Zip Code 12936

2. Applicant is (check one or more):  
 Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information:  
 A. County ESSEX  
 B. City, Town, Village ESSEX  
 C. Tax Map No. (check with assessor) 49.3-7-77.000  
 D. Street Address or Directions

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed):

A. Property Owner	B. Architect or Engineer	C. General Contractor/Builder
<u>LEWIS FARM</u>		

5. Contractor Insurance  
 Workers' Compensation & Disability Benefits Secured by Contractor  
 Wages To Be Paid  Yes  No Policy No. \_\_\_\_\_

6. Project Cost Estimate (see instructions) \_\_\_\_\_ Number Square Feet \_\_\_\_\_

7. Check All Items That Apply to the Named Projects:

<input type="checkbox"/> New House/Building	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Addition	<input type="checkbox"/> Change of Use
<input type="checkbox"/> Mobile Home	<input type="checkbox"/> Storage Shed	<input type="checkbox"/> Alterations	<input type="checkbox"/> Demolition
<input type="checkbox"/> Manufactured Home	<input type="checkbox"/> Swimming Pool	<input type="checkbox"/> Relocation	<input type="checkbox"/> Solid Fuel
<input type="checkbox"/> Masonry Chimney	<input type="checkbox"/> MFG Chimney	<input type="checkbox"/> Deck	<input checked="" type="checkbox"/> Other <u>FOUNDATION</u>

Construction Class  
 Type 1 Fire Resistive  Type 3 Heavy Timber  
 Type 2 Noncombustible  Type 4 Ordinary  Type 5 Wood Frame  
 Unknown

Occupancy Use Classifications  
 A1 One-Family Dwelling  C1 Business  
 A2 Two-Family Dwelling  C2 Mercantile  
 B1 Multiple Dwelling Apartments  C3 Industrial  
 B2 Multiple Dwelling Hotel/Motel  C4 Storage  
 B3 Multiple Dwelling Sr. Citizen  C5 Assembly  
 B4 Multiple Dwelling Adult Residential Care  C6 Institutional  
 C7 Miscellaneous

8. A. Is the site within a flood plain? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 B. Is the site in whole or in part a designated wetland? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 C. Is the site under APA jurisdiction? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 D. Is the site under local zoning jurisdiction? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 E. "X" all of the following that describe the provisions for water and sewer:  
 Public Water System  New Private Well  Prior Existing Private Well  
 Public Sewer System  New Septic System  Prior Existing Sewer System  
 Other

9. What will be the method of providing heat?  
 Primary: \_\_\_\_\_ Secondary: \_\_\_\_\_ Nons \_\_\_\_\_

10. Plans are (see instructions):  
 Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No  
 \* If yes, read instructions carefully and provide a description and explanation →

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature of Applicant/Authorized Agent \_\_\_\_\_ Date NOV. 30, 06

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side. Make check payable to Town of Essex Building Codes Department.

**OFFICE USE ONLY**

	CO or CC Issued									
	1	2	3	4	5	6	7	8	9	10
Approved <input checked="" type="checkbox"/>	Permit No. <u>A-662</u>									
Disapproved <input type="checkbox"/>	<u>11-30-06</u>									
Reviewed <input type="checkbox"/>	<u>11-30-06</u>									
Date Received <u>11-30-06</u>	<u>11-30-06</u>									

Special Conditions:

# SOUTH ESTAGE

1/24/90

Building Permit Application

Town of Essex Building Codes

Permit No.

A-662

READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING THIS APPLICATION

1. Applicant's Name LEWIS FAMILY FARM Daytime Phone No. ( )

Street Address 1058 W HALLONSARY City ESSEX State N.Y. Zip Code 12936

2. Applicant is (check one or more):  
 Property Owner  General Contractor  Other (Specify)

3. Provide Project Location Information:  
 A. County ESSEX  
 B. City, Town, Village ESSEX  
 C. Tax Map No. (check with assessor) 49.3-2-27.000  
 D. Street Address or Directions

4. Provide Names, Addresses, and Telephone Numbers for Individuals Named Below (use additional sheets, if needed):

A. Property Owner	B. Architect or Engineer	C. General Contractor/Builder
<u>LEWIS FARM</u>		

5. Contractor Insurance  
 Workers' Compensation & Disability Benefits Secured by Contractor  
 Wages To Be Paid  Yes  No Policy No.

6. Project Cost Estimate (see instructions) \_\_\_\_\_ Number Square Feet \_\_\_\_\_

7. Check All Items That Apply to the Named Projects:

<input type="checkbox"/> New House/Building	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Addition	<input type="checkbox"/> Change of Use
<input type="checkbox"/> Mobile Home	<input type="checkbox"/> Storage Shed	<input type="checkbox"/> Alterations	<input type="checkbox"/> Demolition
<input type="checkbox"/> Manufactured Home	<input type="checkbox"/> Swimming Pool	<input type="checkbox"/> Relocation	<input type="checkbox"/> Solid Fuel
<input type="checkbox"/> Masonry Chimney	<input type="checkbox"/> MFG Chimney	<input type="checkbox"/> Deck	<input checked="" type="checkbox"/> Other <u>FOUNDATION</u>

Construction Class  
 Type 1 Fire Resistive  Type 3 Heavy Timber  Type 5 Wood Frame  
 Type 2 Noncombustible  Type 4 Ordinary  Unknown

Occupancy Use Classifications

<input checked="" type="checkbox"/> A1 One-Family Dwelling	<input type="checkbox"/> C1 Business
<input type="checkbox"/> A2 Two-Family Dwelling	<input type="checkbox"/> C2 Mercantile
<input type="checkbox"/> B1 Multiple Dwelling Apartments	<input type="checkbox"/> C3 Industrial
<input type="checkbox"/> B2 Multiple Dwelling Hotel/Motel	<input type="checkbox"/> C4 Storage
<input type="checkbox"/> B3 Multiple Dwelling Sr. Citizen	<input type="checkbox"/> C5 Assembly
<input type="checkbox"/> B4 Multiple Dwelling Adult Residential Care	<input type="checkbox"/> C6 Institutional
	<input type="checkbox"/> C7 Miscellaneous

8. A. Is the site within a flood plain? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 B. Is the site in whole or in part a designated wetland? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 C. Is the site under APA jurisdiction? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 D. Is the site under local zoning jurisdiction? \_\_\_\_\_ Yes \_\_\_\_\_ No  
 E. "X" all of the following that describe the provisions for water and sewer:  
 Public Water System  New Private Well  Prior Existing Private Well  
 Public Sewer System  New Septic System  Prior Existing Sewer System  
 Other

9. What will be the method of providing heat?  
 Primary: \_\_\_\_\_ Secondary: \_\_\_\_\_ None

10. Plans are (see instructions):  
 Enclosed/Attached  Shipped Separately  Not Supplied

11. Has any work covered by this application been started or completed?  Yes  No  
 \* If yes, read instructions carefully and provide a description and explanation ->

12. APPLICATION CERTIFICATION - I hereby certify that I have read the instructions and examined the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature of Applicant/Authorized Agent \_\_\_\_\_ Date NOV. 30, 06

Date Received	Reviewed	Approved / Disapproved	Inspections										Permit No.	CO or CC Issued		
			1	2	3	4	5	6	7	8	9	10				
<u>11-30-06</u>	<u>11-30-06</u>	<u>11-30-06</u>													<u>A-662</u>	

OFFICE USE ONLY

Special Conditions:

Consult instructions on attached sheet about appropriate fee. Mailing instructions are on reverse side.

**AFFIDAVIT OF BARBARA A. LEWIS  
SWORN TO JANUARY 17, 2008**

**EXHIBIT C**

**Building Codes Department**

Main Street

Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-656,657,658 DATE: 11-14-06

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM

permitting CONSTRUCTION OF 3 FOUNDATIONS FOR 3 SINGLE FAMILY HOMES AS PER APPLICATION.

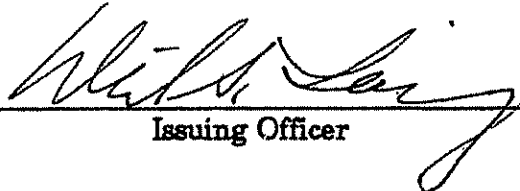
at 909 W-HALLOWSBAY RD ESSEX, N.Y. 12936

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code, and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.

Footings before pouring concrete ... _____	Foundation before backfill ..... _____
Framing before enclosing ..... _____	Electrical before enclosing ..... _____
	Inspection to be done by electrical inspection agency
Plumbing before enclosing ..... _____	Heating, Ventilation, Air Conditioning before enclosing.. _____
Insulation Inspection ..... _____	Final Inspection ..... _____

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

  
\_\_\_\_\_  
Issuing Officer

**AFFIDAVIT OF BARBARA A. LEWIS  
SWORN TO JANUARY 17, 2008**

**EXHIBIT D**

TOWN OF ESSEX  
Building Codes Department  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-698 DATE: 6-25-07

MARCC HOME

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM

permitting CONSTRUCTION-INSTALLATION OF A  
PRE-FAB HOME AS PER DWGS (2,350  
SQ.FT.

at CROSS RD & W HULLOCKSBAY RD ESSEX, N.Y.

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code, and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.

Footing before pouring concrete ... _____	Foundation before backfill ..... _____
Framing before enclosing ..... _____	Electrical before enclosing ..... _____
	Inspection to be done by electrical inspection agency
Plumbing before enclosing ..... _____	Heating, Ventilation, Air Conditioning before enclosing.. _____
Insulation Inspection ..... _____	Final Inspection ..... _____

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

*David S. Lansing*  
Issuing Officer

TOWN OF ESSEX  
Building Codes Department  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-699  
RESIDENCE #1

DATE: 6-25-07

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM

permitting CONSTRUCTION OF A MODULAR HOME

SINGLE FAMILY 2,356 SQ FT AS PER  
DWG S.

at FORMER WALKER SITE - WHALLOGBAY RD  
ESSEX

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code, and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.


Footing before pouring concrete ... \_\_\_\_\_ Foundation before backfill ..... \_\_\_\_\_

Framing before enclosing ..... \_\_\_\_\_ Electrical before enclosing ..... \_\_\_\_\_  
Inspection to be done by electrical inspection agency

Plumbing before enclosing ..... \_\_\_\_\_ Heating, Ventilation, Air  
Conditioning before enclosing.. \_\_\_\_\_

Insulation Inspection ..... \_\_\_\_\_ Final Inspection ..... \_\_\_\_\_

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

  
Issuing Officer



TOWN OF ESSEX  
Building Codes Department  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-702 DATE: 6-25-07

NORTH COTTAGE

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM

permitting CONSTRUCTION OF MODULAR HM (SINGLE FAMILY) 2,350 SQ FT ASPEN DWGS

CAROLYN

at FORMER WALKER SITE, WHALLONS BAY RD ESSEX

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code, and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.

Footing before pouring concrete ... \_\_\_\_\_ Foundation before backfill ..... \_\_\_\_\_

Framing before enclosing ..... \_\_\_\_\_ Electrical before enclosing ..... \_\_\_\_\_  
Inspection to be done by electrical inspection agency

Plumbing before enclosing ..... \_\_\_\_\_ Heating, Ventilation, Air  
Conditioning before enclosing.. \_\_\_\_\_

Insulation Inspection ..... \_\_\_\_\_ Final Inspection ..... \_\_\_\_\_

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

  
Issuing Officer

TOWN OF ESSEX  
Building Codes Department  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-701  
50 COTTAGE

DATE: 6-25-07

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM

permitting CONSTRUCTION OF MODULAR HOME (SINCE FAMILY) 2,350 SQFT AS PER DWGS

at CAROLYN FORMER WAKEL SITE W HAWKINS RD ESSEX

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code, and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.

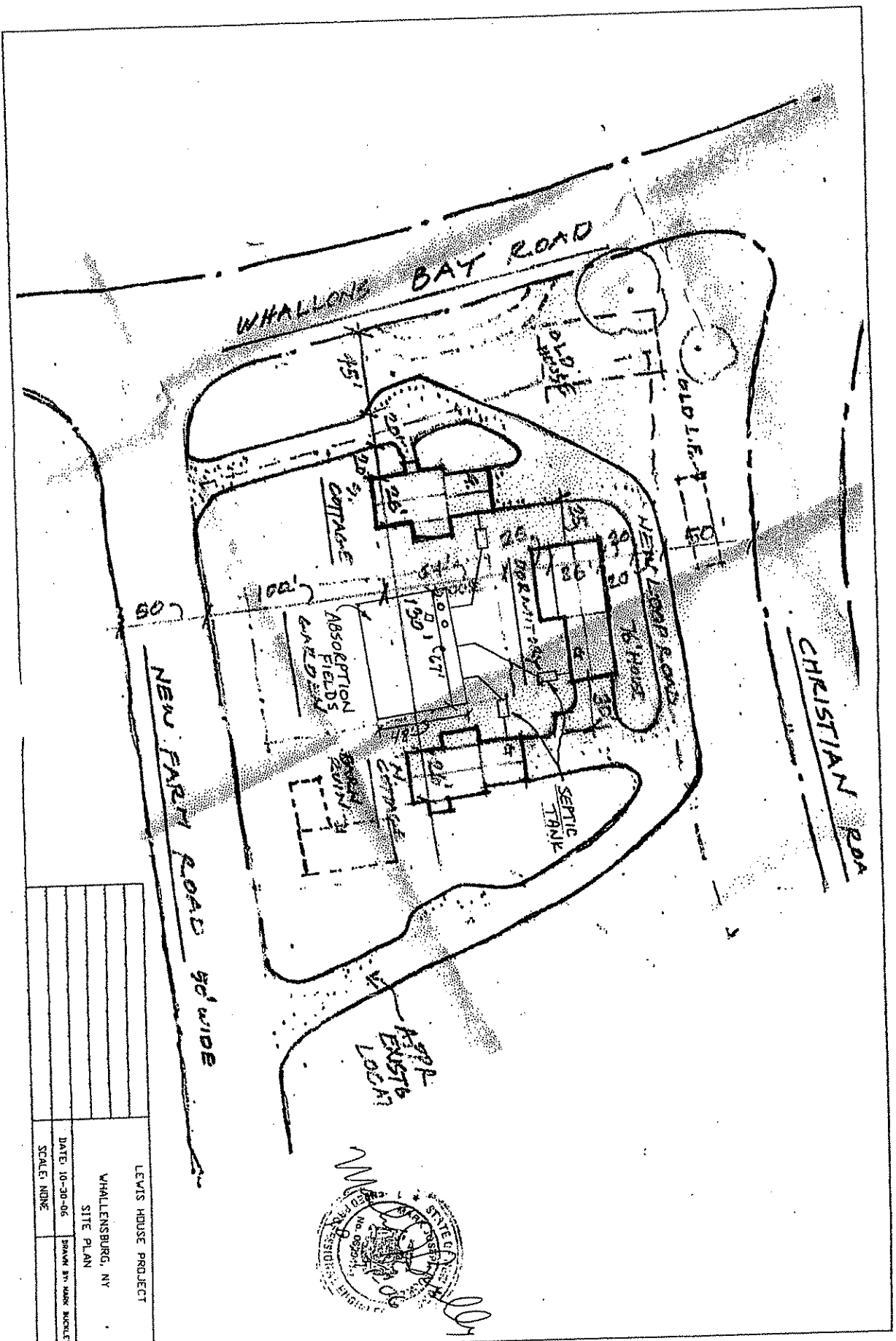
- |   |   |
|---|---|
| Footing before pouring concrete ... _____ | Foundation before backfill ..... _____                          |
| Framing before enclosing ..... _____      | Electrical before enclosing ..... _____                         |
|   | Inspection to be done by electrical inspection agency _____     |
| Plumbing before enclosing ..... _____     | Heating, Ventilation, Air Conditioning before enclosing.. _____ |
| Insulation Inspection ..... _____         | Final Inspection ..... _____                                    |

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

Lewis S. Lansing  
Issuing Officer

**AFFIDAVIT OF BARBARA A. LEWIS  
SWORN TO JANUARY 17, 2008**

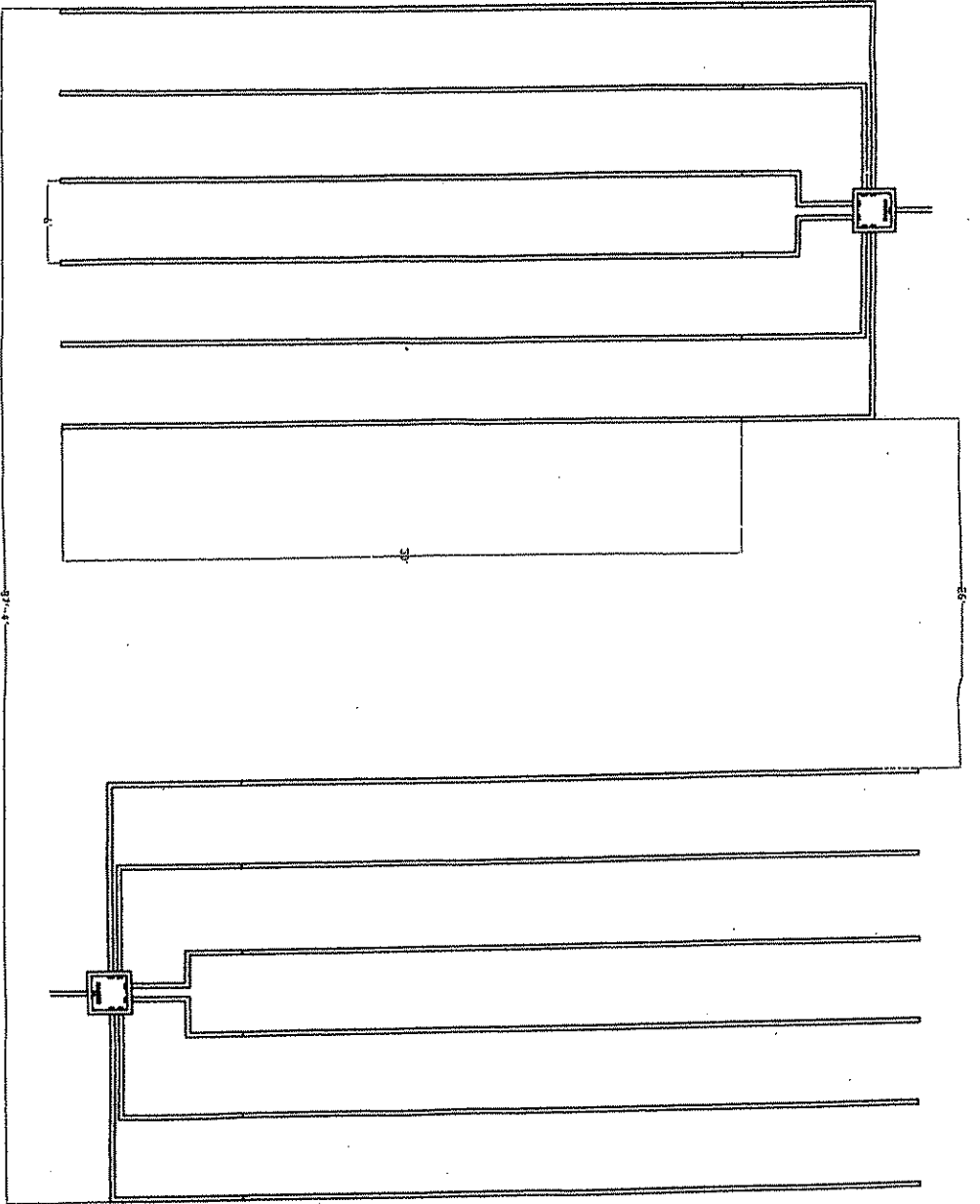
**EXHIBIT E**



LEWIS HOUSE PROJECT	
WALLENSBURG, NY	
SITE PLAN	
DATED 10-30-06	DRAWN BY MARK ROULET
SCALE: NONE	







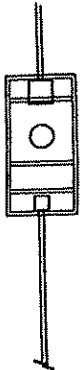
ABSORPTION FIELD PLAN VIEW  
(TTP-3)



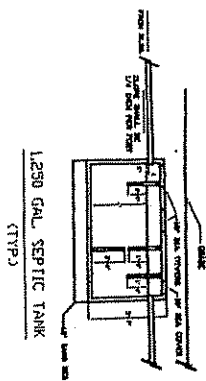
REVISED 9-2-07	DATE 10-30-06	DRAWN BY JAMES BOULET
REVISED 8-17-07	SCALE NONE	

LEWIS HOUSE PROJECT  
 WHALLENS BAY ROAD  
 WHALLENSBURG, NY  
 ABSORPTION FIELD

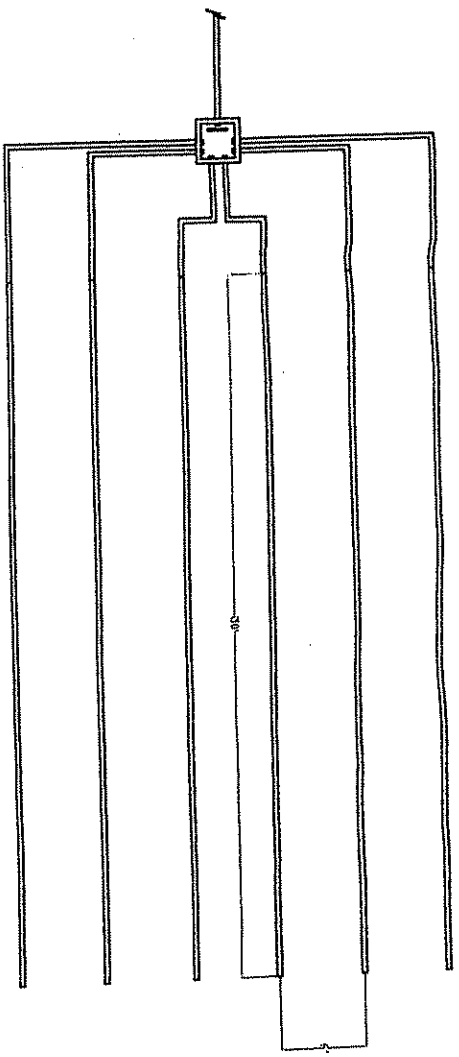
REQUIRED LENGTH OF ABSORPTION TRENCH			
PERC. RATE	FLOW RATE (GALS./DAY)		
NO./INCH	2 INCH (200)	3 INCH (300)	4 INCH (400)
12			275
SEPTIC TANK NO./INCH	1250		



1250 GAL. SEPTIC TANK  
(TYPE 3)



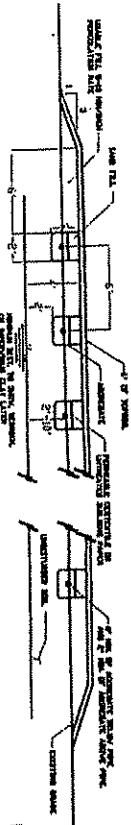
1250 GAL. SEPTIC TANK  
(TYPE 2)



ABSORPTION FIELD PLAN VIEW  
LATERALS SHOULD BE OF EQUAL LENGTH  
AND 50 FT. OR LESS IN LENGTH



ABSORPTION FIELD SECTION



ABSORPTION FIELD SECTION

DEEP HOLE TESTS			
TEST HOLE	DEPTH	SOIL	REMARKS
TP 1	93'	34'	>93'
NOTES: 1-35' SAND, 13-32' SANDY CLAY LIMB, 28-34' CLAY W/1/2' SILT, 34-41' SANDY CLAY, 41-93' CLAY WATER @ 41', NOTHING @ 34'			

PERCOLATION TEST RATES			
TEST HOLE	DEPTH	PERC. RATE (GALS./DAY)	DATE
SP 1	15'	13	8-31-07
SP 2	10'	10	8-31-07

- GENERAL NOTES:
1. HOLE TO BE FILL WITH WATER OVER SEPTIC TANK PUMP STATION OR REQUIRED AND DIST. BOX.
  2. HOLE TO BE FILL WITH WATER TO HAVE THOSE OVER CLEAN ON TOP.
  3. ALL TANKS, PUMP STATIONS, AND HOLES TO BE CONCRETE (4000 PSI, 4" AND SPECIFICATION).
  4. TO CONFORM TO SECTION 100.01 OF THE NEW YORK STATE AND LOCAL SPECIFICATIONS.
  5. ALL TANKS, PUMP STATIONS, AND HOLES TO BE CONCRETE (4000 PSI, 4" AND SPECIFICATION).
  6. ALL PIPE TO BE SCHEDULE 40 PIPE UNLESS OTHERWISE SPECIFIED.

LEWIS HOUSE PROJECT  
WHALLONS BAY ROAD  
WHALLONSBURG, NY  
SEPTIC SYSTEM

REVISIONS:  
REVISED 3-2-07  
DATE: 10-30-06  
SCALE: NONE

DESIGNED BY: MARK BOGALTY



**AFFIDAVIT OF BARBARA A. LEWIS  
SWORN TO JANUARY 17, 2008**

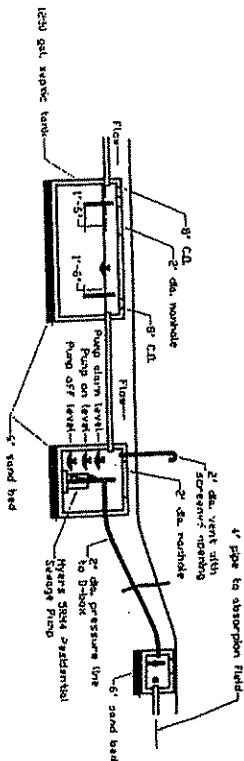
**EXHIBIT F**



**NOTES:**

- 1) Min. 12" cover over septic tank, pump station and dist. box.
- 2) Septic tank baffles to have one inch clear on top.
- 3) Slope on all non-perforated gravity pipe to be 1/8" per L.F. unless otherwise noted.
- 4) All tanks, pump stations, and boxes to be concrete (3000 psi). Size and specifications to conform to NYSDDH Design Handbook for Individual Residential Wastewater Treatment Systems dated 1996.
- 5) All tanks, pump stations and boxes to be water tight.
- 6) Pump Stations to be supplied with:
  - a) Union for disconnection of press. line.
  - b) Moisture resistant junction box.
- 7) All solid pipe to be schedule 40 PVC.
- 8) Alarm panel for pump station to be located in dwelling. Electrical service to have separate GFI breaker.
- 9) Inlet on septic tank and D-box to be 2" higher than outlet.
- 10) Dose capacity of pump station should be set at 75% to 85% of the pipe network volume.
- 11) Pump Sta. tank to hold one days capacity between pump high level alarm and inlet from septic tank.
- 12) Install pump station only if absorption Field can not be fed by gravity

REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (FEET)					
SYSTEM COMPONENT	WELL OR SECTION LINE	TO STREAM LINE OR WETLAND	TO BUILDING	PROPERTY LINE	ROADWAY
HOUSE SEWER	50	25	3	10	-
SEPTIC TANK	50	50	10	10	10
EFFLUENT LINE TO DISTRIBUTION BOX	50	50	10	10	10
DISTRIBUTION BOX	100	100	20	10	20
ABSORPTION FIELD	100	100	20	10	20
SEWAGE PIT	150	100	20	10	20
1/2" WELLS, CATCH AND FORTING	50	25	20	10	10
RAISED OR MOUND SYSTEM	100	100	20	10	20



**SEPTIC TANK, PUMP STATION AND DIST. BOX X-SECTION**



LEWIS HOUSE PROJECT		DRAWN BY: ANNE HICKLEY
WHALLENS BAY ROAD WHALLENSBURG, NY SITE PLAN		
DATE: 9-2-07	SCALE: NONE	

FARM  
MANAGER'S  
RESIDENCE

TOWN OF ESSEX  
Building Codes Department  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-710 DATE: 8-8-07

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FARM

permitting CONSTRUCTION OF AN ON SITE SEPTIC SYSTEM AS PER P.E. MARK BUCKLEY PLANS

at MARCO JUNCO RESIDENCE (W. HAZZONE BAY)

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code, and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.

Footings before pouring concrete ... _____	Foundation before backfill ..... _____
Framing before enclosing ..... _____	Electrical before enclosing ..... _____
	Inspection to be done by electrical inspection agency
Plumbing before enclosing ..... _____	Heating, Ventilation, Air Conditioning before enclosing.. _____
Insulation Inspection ..... _____	Final Inspection ..... _____

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

*Luigi J. Lansing*  
Issuing Officer

RESIDENCE  
# 1

TOWN OF ESSEX  
Building Codes Department  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-716

DATE: 9-19-07

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM

permitting CONSTRUCTION OF SEPTIC SYSTEM  
AS PER PLANS

at 52 CHRISTMAN RD ESSEX, N.Y. 12936

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code; and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.

Footing before pouring concrete ... \_\_\_\_\_ Foundation before backfill ..... \_\_\_\_\_

Framing before enclosing ..... \_\_\_\_\_ Electrical before enclosing ..... \_\_\_\_\_

Inspection to be done by electrical inspection agency

Plumbing before enclosing ..... \_\_\_\_\_ Heating, Ventilation, Air  
Conditioning before enclosing.. \_\_\_\_\_

Insulation Inspection ..... \_\_\_\_\_ Final Inspection ..... \_\_\_\_\_

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

Lewis Lansing  
Issuing Officer

NO 1717  
COTTAGE

TOWN OF ESSEX  
Building Codes Department  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-714

DATE: 9-19-07

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM

permitting CONSTRUCTION OF A SEPTIC SYSTEM  
AS PER PLANS

at 52 CHRISTIAN RD ESSEX, NY 12936

All work shall be executed in strict compliance with the permit application, approved plans, the Uniform Fire Prevention and Building Code, and all other laws, rules and regulations which apply. The building permit does not constitute authority to build in violation of any federal, state, or local law, or other rule or regulation.

Do not proceed beyond these points until countersigned below by the Inspector.

Footing before pouring concrete ... _____	Foundation before backfill ..... _____
Framing before enclosing ..... _____	Electrical before enclosing ..... _____
	Inspection to be done by electrical inspection agency
Plumbing before enclosing ..... _____	Heating, Ventilation, Air Conditioning before enclosing.. _____
Insulation Inspection ..... _____	Final Inspection ..... _____

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

*David S. Lansing*  
Issuing Officer

200 117  
COTTAGE

TOWN OF ESSEX  
Building Codes Department  
Main Street  
Essex, NY 12936

It shall be the responsibility of the owner, applicant, or his agent to inform the Building Inspector that the building is ready for inspection as the stages of construction listed below are complete.

NUMBER: A-715 DATE: 9/19/07

This notice, which must be prominently displayed on the property or premises to which it pertains, indicates that a

# BUILDING PERMIT

has been issued to LEWIS FAMILY FARM  
permitting CONSTRUCTION OF A SEPTIC SYSTEM  
AS PER PLANS

at 52 CHRISTIAN RD ESSEX, NY 12936

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Do not proceed beyond these points until countersigned below by the Inspector.

Footing before pouring concrete ... _____	Foundation before backfill ..... _____
Framing before enclosing ..... _____	Electrical before enclosing ..... _____
	Inspection to be done by electrical inspection agency
Plumbing before enclosing ..... _____	Heating, Ventilation, Air Conditioning before enclosing.. _____
Insulation Inspection ..... _____	Final Inspection ..... _____

Permission is hereby granted to proceed with the work as set forth in the specifications, plans, or statements now on file in this Department. Any amendments made to the original plans and specifications must first be submitted for approval.

*Luigi S. Lansing*  
Issuing Officer

**AFFIDAVIT OF BARBARA A. LEWIS  
SWORN TO JANUARY 17, 2008**

**EXHIBIT G**

STATE OF NEW YORK  
SUPREME COURT

COUNTY OF ESSEX

LEWIS FAMILY FARM, INC.,

Plaintiff.

- vs -

NEW YORK STATE ADIRONDACK PARK AGENCY,

Defendant.

AFFIDAVIT OF SALIM  
B. LEWIS

Index No. 000498-07

STATE OF NEW YORK            )  
  ) ss.:  
COUNTY OF ESSEX            )

**Salim B. Lewis**, being duly sworn, deposes and says:

1. I am a shareholder of the Lewis Family Farm, Inc. ("Lewis Farm"), the plaintiff in the above captioned action. I have personal knowledge of the facts stated herein or, where indicated, to be upon information and belief. believe such facts to be true.

2. I offer this affidavit in further support of the Lewis Farm's motion for a temporary restraining order and preliminary injunction, and in opposition to Defendant New York State Adirondack Park Agency's ("APA") motion to dismiss.

3. Since 1978, the Lewis Farm has had the vision of becoming the premier organic farm in New York State. Today's Lewis Farm, I am told, offers a standard to which farms in the region and the nation may aspire.

4. The Lewis Farm started with a few acres around our residence, and now encompasses approximately 1,200 contiguous acres.

5. Among the Lewis Farm's missions, we wish to create and maintain the sustainable USDA certified, National Organic Program organic agriculture model in Essex

County by producing high quality organic food and breeding that will compete in domestic and international markets.

6. To accomplish this goal, the Lewis Farm has invested in modern agricultural equipment, practices and in the people who will perfect these strategies. The Lewis Farm seeks to employ highly educated individuals, increasingly expert in organic farming, people that can propel the Lewis Farm forward, making it the most modern and innovative organic farm in New York State.

7. We are told the Lewis Farm is important to the agricultural economy of Essex County, and to the agricultural future of the region, because it serves as a model that helps other farmers in the region and throughout the state to see that organic farming is profitable and sustainable.

8. The Lewis Farm has progressed from a small, simple, money-losing hay operation, spraying insecticide and herbicide, to a growing, entirely organic, increasingly bio-dynamic and holistic farm that produces and sells grains, hay, and forage crops, and breeds and raises grass-fed, grass-finished beef from a registered organic herd of national importance.

9. We regularly offer local residents, government officials, and other representatives of the organic and environmental communities tours of the Lewis Farm. The purpose of these tours is to educate. Our neighbors, government officials and others learn about organic initiatives and products at the Farm. These tours showcase the culture of cleanliness and commitment among the Lewis Farm employees, giving farm staff the opportunity to show and tell.

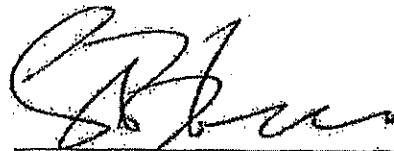


10. Several years ago we invited John Banta, Richard Lefebvre, and Mark Sengenberger, among others from the APA, to tour the Lewis farm. The purpose of the tour was to educate.

11. During this tour, I drove Messrs. Banta, Lefebvre, and Sengenberger around the Lewis Farm. I showed the Lewis Farm, explained its history and growth, described its organic initiatives, and showcased the high quality work performed by our employees.

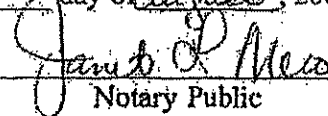
12. The sole purpose of the tour was to educate Messrs. Banta, Lefebvre, and Sengenberger. At no time did I seek their legal opinion regarding any aspect of our operation.

13. When I gave Messrs. Banta, Lefebvre, and Sengenberger a tour of the Lewis Farm, the Lewis Farm had not yet decided to build onsite employee housing, and I did not discuss with Messrs. Banta, Lefebvre, and Sengenberger whether or not such housing would be subject to the APA's permitting authority, nor am I aware that they said it would not be. I do not recall any such discussion.



Salim B. Lewis

Sworn to before me this  
7<sup>th</sup> day of August, 2007

  
Notary Public

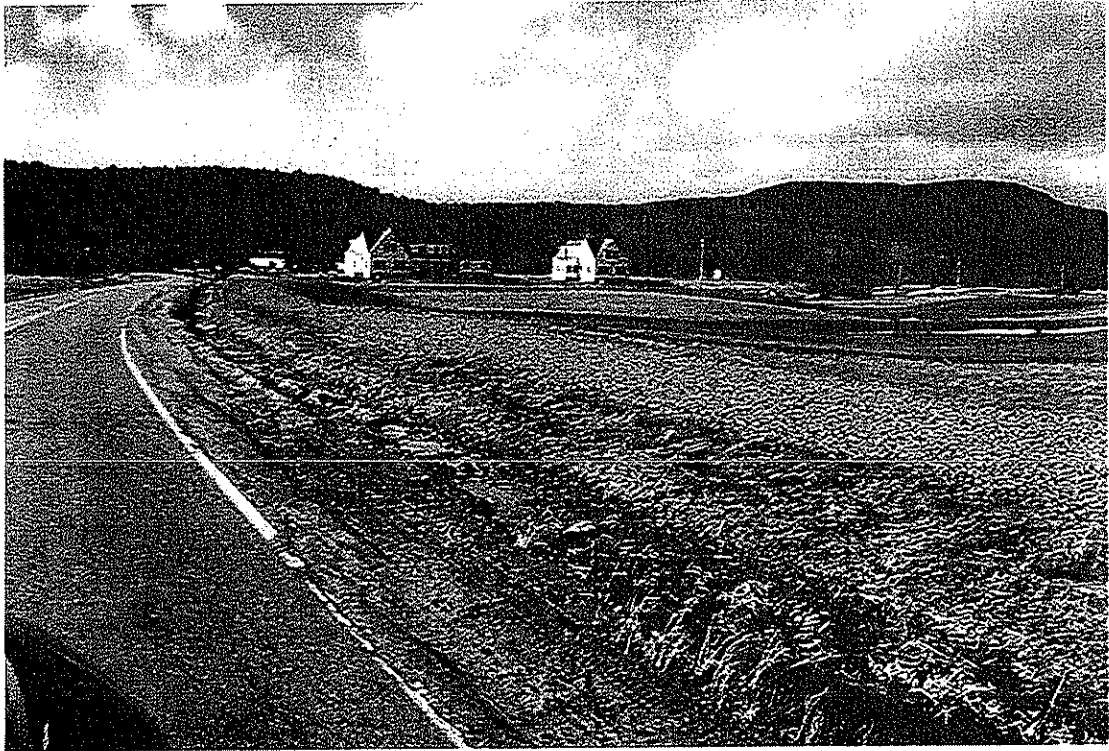
JANET L. MERO  
NOTARY PUBLIC STATE OF NEW YORK  
NO. 2685403  
QUALIFIED IN ESSEX COUNTY 9/30/07  
TERM EXPIRES

**AFFIDAVIT OF BARBARA A. LEWIS  
SWORN TO JANUARY 17, 2008**

**EXHIBIT H**



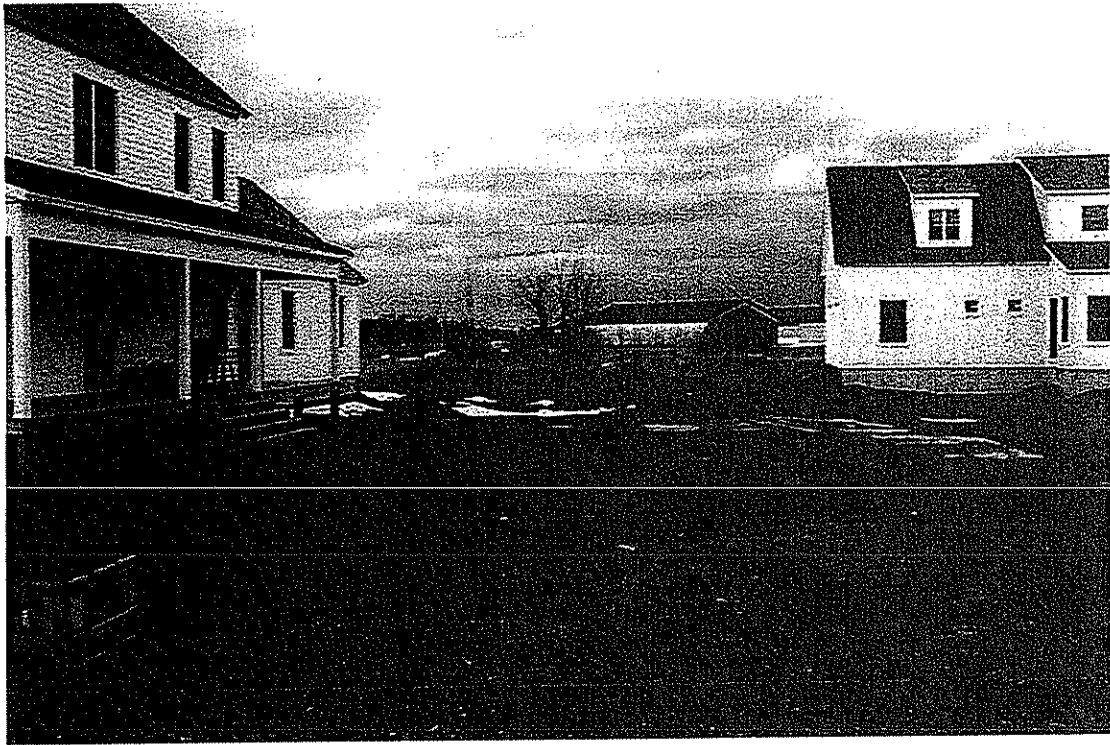
2003 Color infra-red image of a portion of the Lewis Farm where the farm employee housing was constructed. These structures were demolished prior to building the housing.



Farm employee housing clustered together with a combined leach field that will be used by all three structures. The Homes are located in close proximity to the barns.



This is a 2008 image of the clustered housing on the Lewis Farm. Homes will be used to house farm employees. The housing was constructed on the same footprint where a home and barns existed in the 2003 image. The edge of the Hamlet of Whallonsburg, no more than 200 feet away, is evident behind the South Family Cottage.



Barns housing the farm's equipment is located adjacent to the clustered homes. Common yard will contain the leach field, which will be used by all three of the homes.

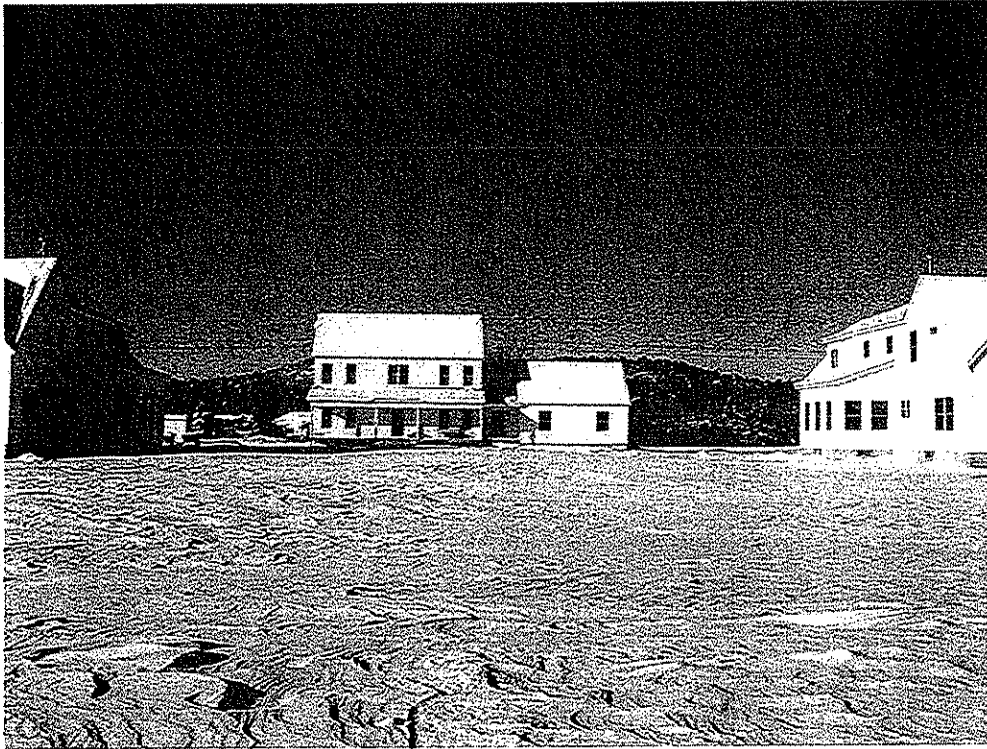


Guest home on the farm. Image taken looking east toward the High Peaks. Such views do not exist where the farm employee housing is located.



The Lewis Family Farm cow shed.





The Lewis Family Farm employee housing cluster on Christian Road, looking west.



Lewis Family Farm field with wascob in foreground, a soil conservation and sediment control structure.



Lewis Family Farm's farm manager's house, farm barn, and farm office with orchard and interior Lewis Farm Family road in foreground.



Lewis Family Farm employee housing cluster from Barn Plaza with bridge and wetlands in foreground.



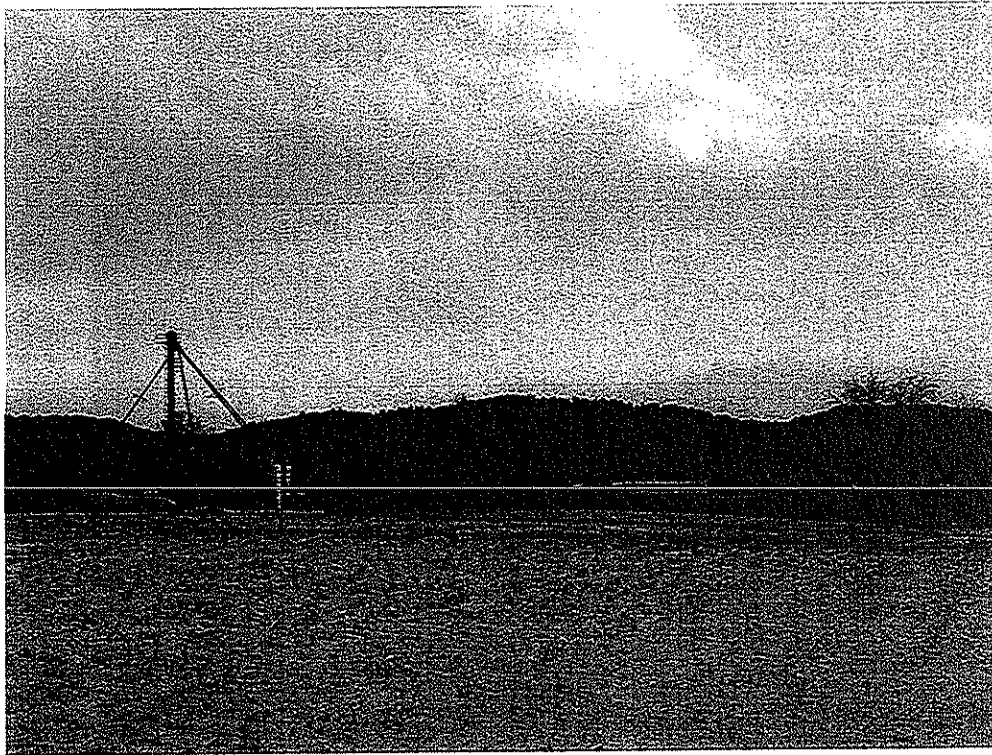
Lewis Family Farm employee housing cluster; wascobs in field and barn plaza on right. Farm interior gravel road in foreground.



Hamlet houses and Lewis Family Farm employee housing cluster looking northeast from the Hamlet's Angier Hill Road.



Lewis Family Farm bridge over wetlands with farm office, farm barn, and farm manager's house in background.



Traditional neighbor's house with Lewis Family Farm's grain bins on edge of field.





Traditional Hamlet white house with slate roof and Lewis Family Farm housing cluster looking north from Angier Hill Road.



Hamlet houses and Lewis Family Farm employee housing cluster from Hamlet on Whallons Bay Road.



Lewis Family Farm employee housing cluster roofs in background looking east from Hamlet; Hamlet roofs and wires in foreground.